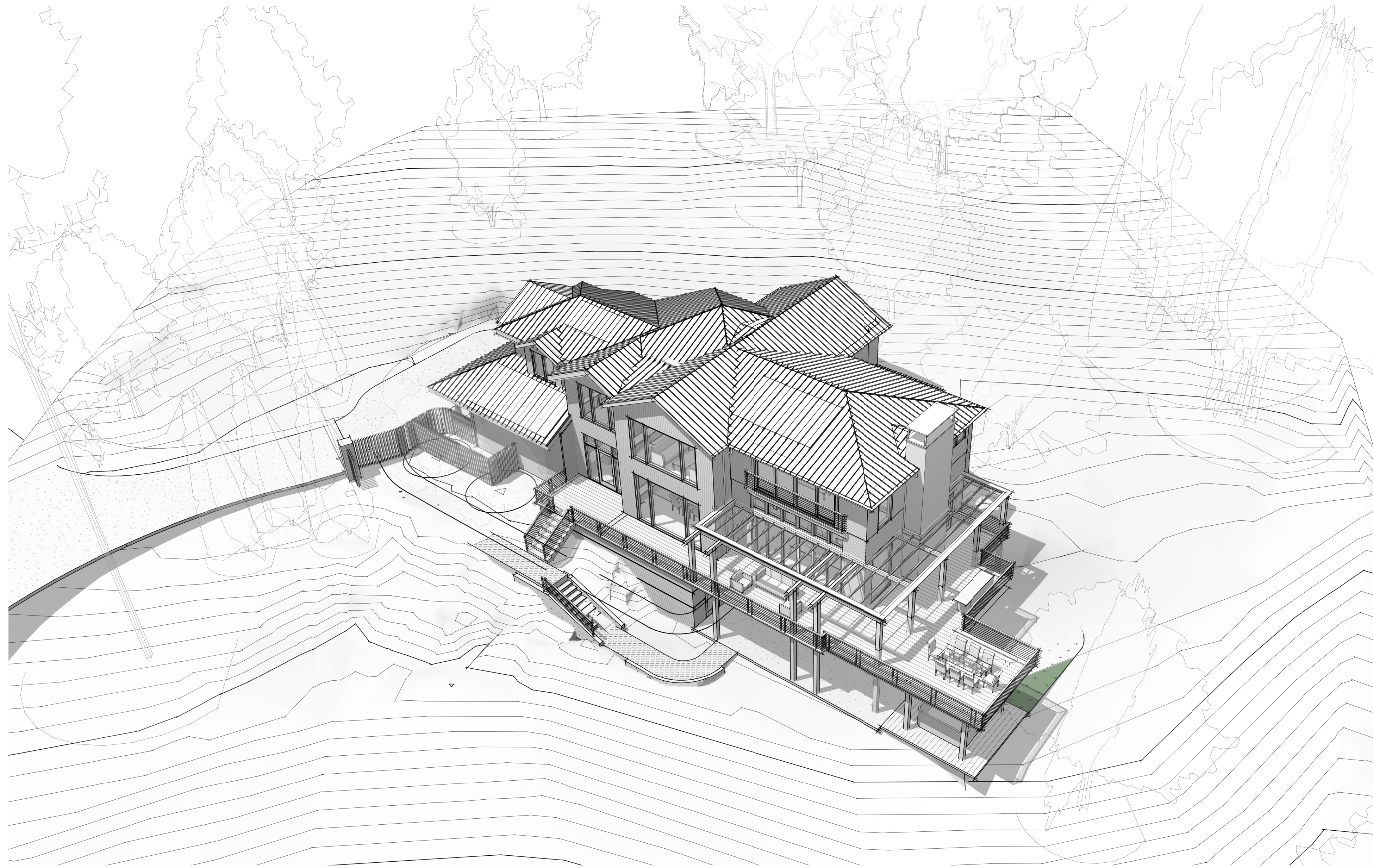


LEUNG RESIDENCE

BUILDING PERMIT SUBMITTAL - 31 AUGUST 2022



PROJECT INFORMATION

CITY OF MERCER ISLAND CPD PROJECT NO: T8D
 PROJECT ADDRESS: 9102 SE 78TH PLACE, MERCER ISLAND, WA 98040
 ASSESSOR PARCEL NO: 9197800070
 LEGAL DESCRIPTION: WATERSIDE TGV UND INT IN TRACTS A, C & D SEE SURVEY FOR FULL DESCRIPTION
 PROJECT DESCRIPTION: REMODEL OF EXISTING SINGLE FAMILY RESIDENCE TO INCLUDE EXTERIOR UPGRADES AND THE ADDITION OF AN ELEVATOR AND A PRIMARY SUITE.

VICINITY MAP



PROJECT TEAM

OWNER: CONTACT: KEVIN & NANCY LEUNG
 9102 SE 78TH PLACE
 MERCER ISLAND, WA 98040
 t: 425.239.1890
 capitalgain@yahoo.com

ARCHITECT: BOARD & VELLUM
 CONTACT: LINDSEY WORKHOVEN
 115 15TH AVE E, SUITE 100
 SEATTLE, WA 98112
 t: 206.860.2514
 lindsey@boardandvellum.com
 www.boardandvellum.com

STRUCTURAL ENGINEER: BYKONEN CARTER QUINN
 CONTACT: NATOSHA NORLIN
 2033 SIXTH AVENUE #995
 SEATTLE, WA 98121
 t: 206.264.7784
 nln@bcq-se.com

CONTRACTOR: BAKSTAD CONSTRUCTION
 CONTACT: DALEN BAKSTAD
 4701 SW ADMIRAL WAY #249
 SEATTLE, WA 98116
 t: 206.355.0277
 WACL #: BAKSTCL5240G
 dalen@bakstadconstruction.com

GEOTECHNICAL ENGINEER: PANGEO
 CONTACT: MICHAEL XUE
 3213 EASTLAKE AVE. E., STE B
 SEATTLE, WA 98102-7121
 t: 206.262.0370
 mxue@pangeoinc.com

CIVIL ENGINEER: STATION10 ENGINEERING PLLC
 CONTACT: STEVE HATZEMBELER
 t: 206.419.0873
 steveh@sta10engineering.com

ARBORIST: OLYMPIC NURSERY, INC.
 TOM QUIGLEY, PRESIDENT
 ISA PN-655A, TRAQ
 206.850.263
 tquigley@msn.com

DRAWING INDEX

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G0.02	PROJECT INFORMATION
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G1.02	CODE DIAGRAMS - LAND USE
G1.03	ZONING CODE - SITE DIAGRAMS
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S6.01	WOOD FRAMING DETAILS
S6.02	WOOD FRAMING DETAILS

Board & Vellum
 115 15th Avenue East, Suite 100
 Seattle, Washington 98112
 +1 206 707 8905
 info@boardandvellum.com
 boardandvellum.com
 Architecture, Interiors, Site Design.

9858 REGISTERED ARCHITECT
Jeffrey A. Pelletier
 JEFFREY ALFRED PELLETIER
 STATE OF WASHINGTON

LEUNG RESIDENCE

PROJECT ADDRESS:
 9102 SE 78TH PLACE
 MERCER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
----------	------	-------------

ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
 ORIGINAL SHEET SIZE: 8.5X11.5"

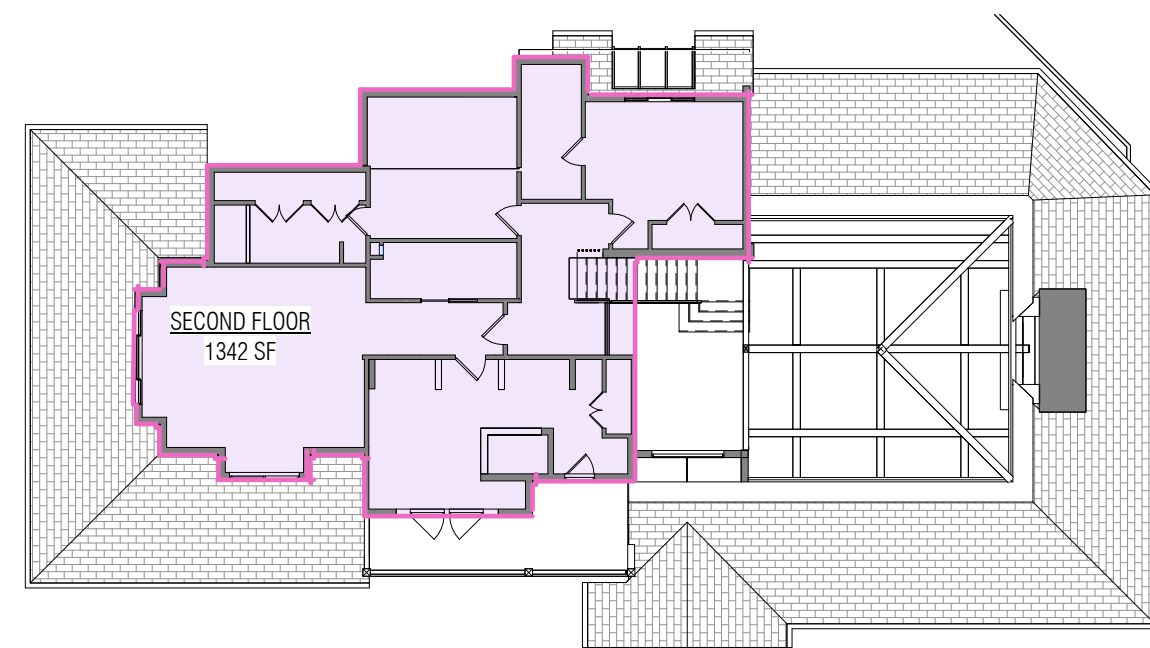
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

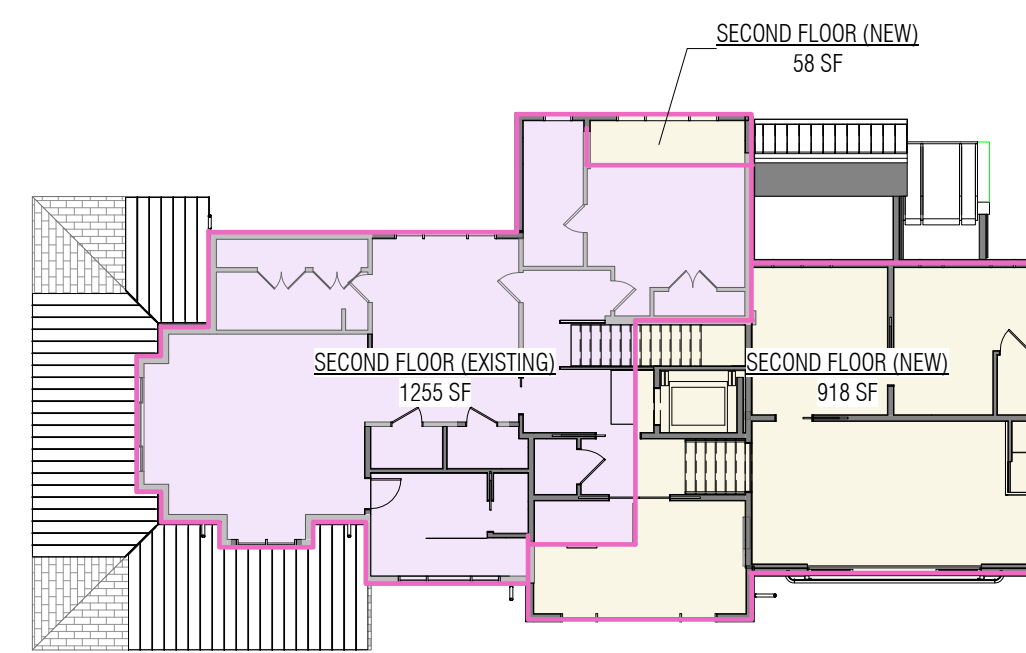
COVER SHEET & GENERAL INFORMATION

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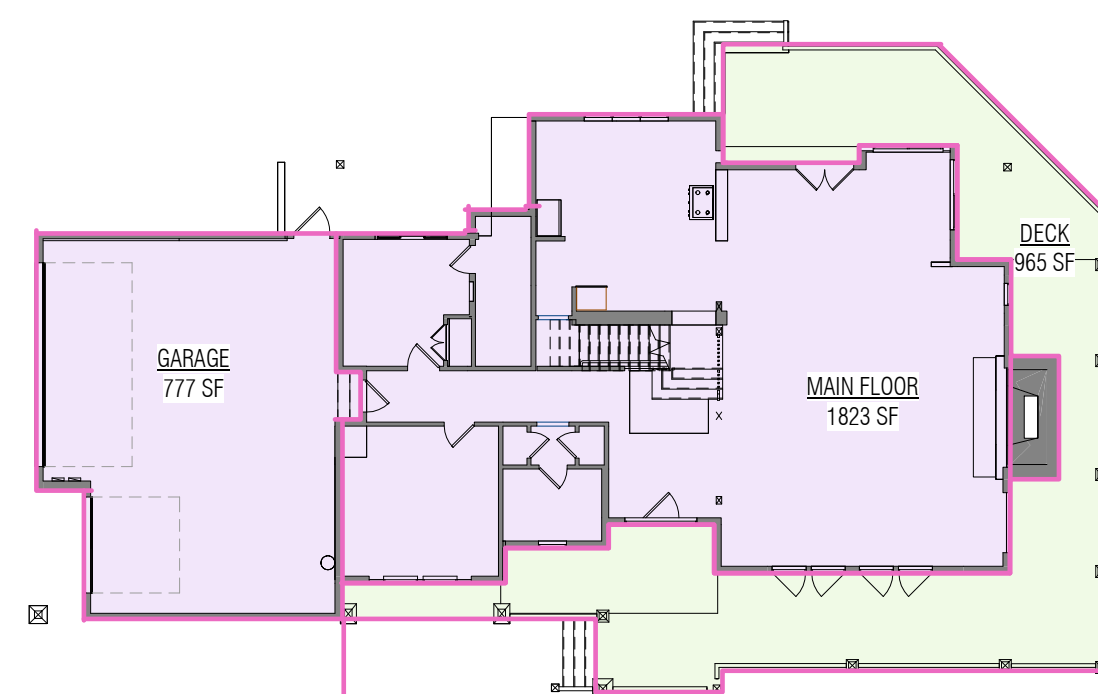
GO.01



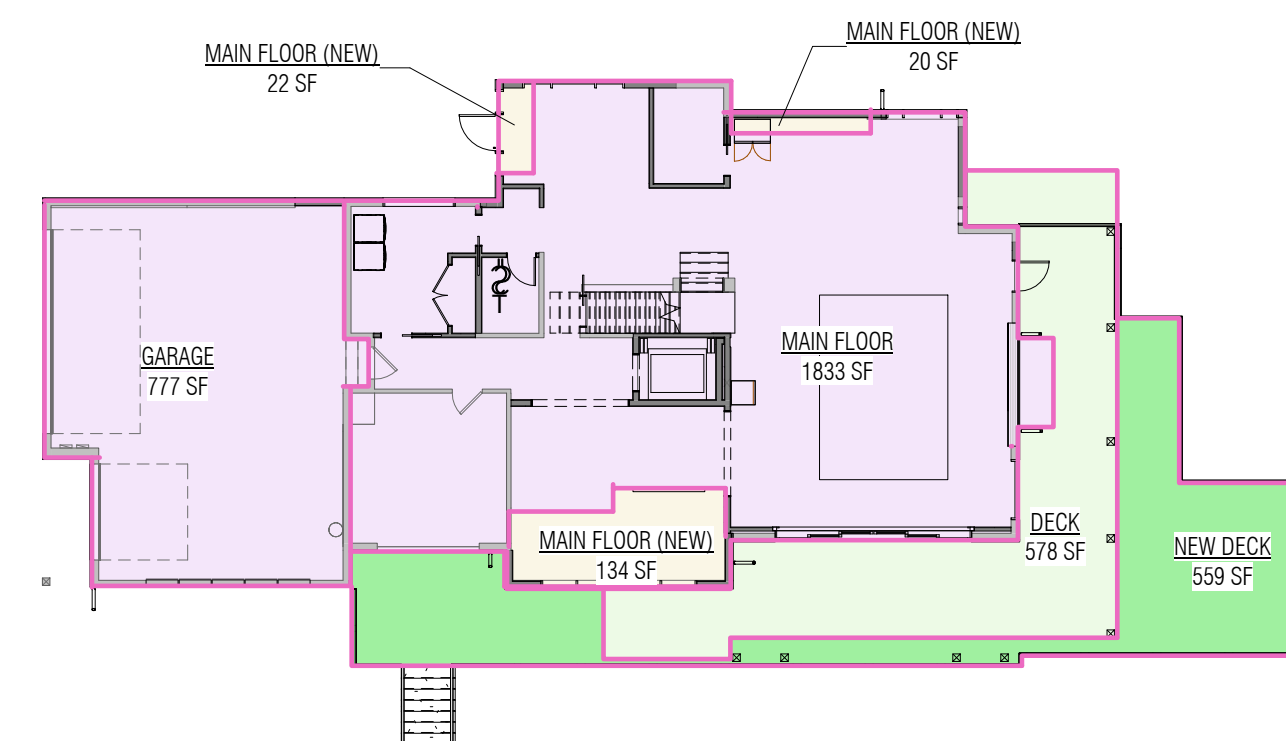
6 EXISTING SECOND FLOOR
 1/16" = 1'-0"



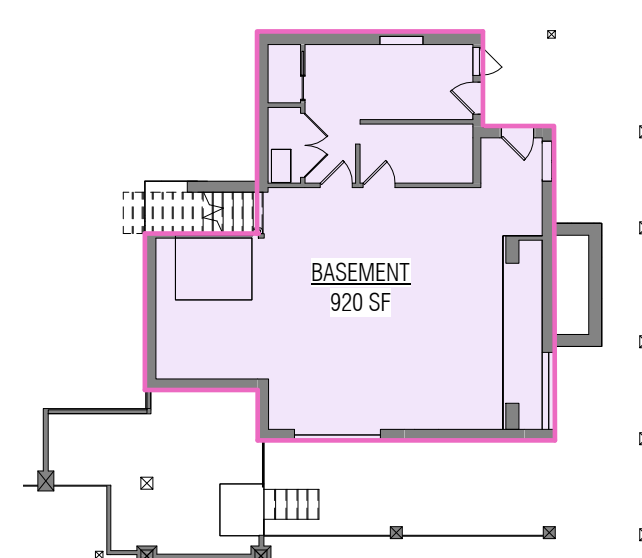
3 PROPOSED SECOND FLOOR
 1/16" = 1'-0"



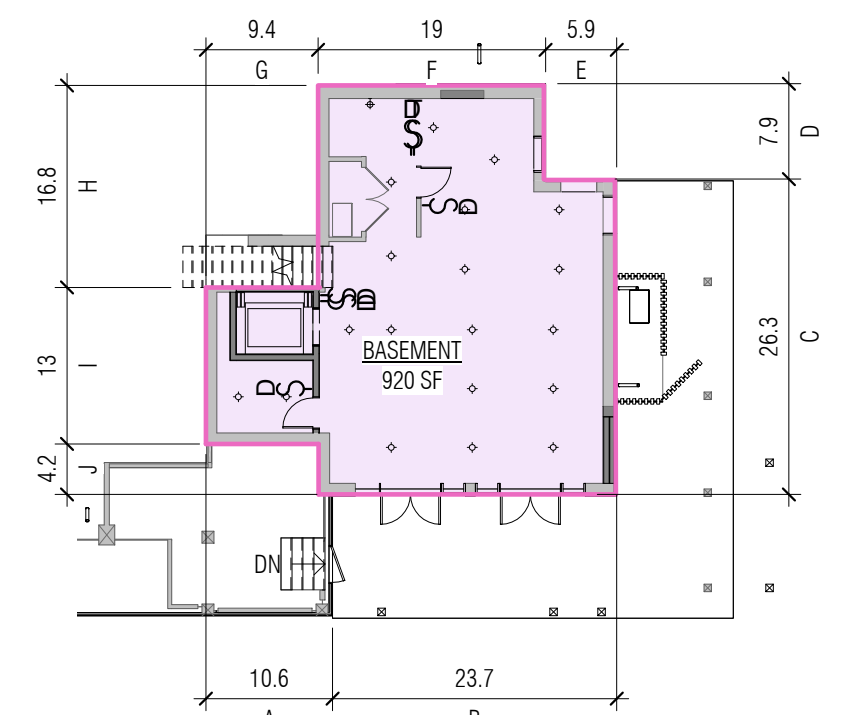
5 EXISTING FIRST FLOOR
 1/16" = 1'-0"



2 PROPOSED FIRST FLOOR
 1/16" = 1'-0"



4 EXISTING BASEMENT
 1/16" = 1'-0"



1 PROPOSED BASEMENT
 1/16" = 1'-0"

AVERAGE GRADE CALCULATION

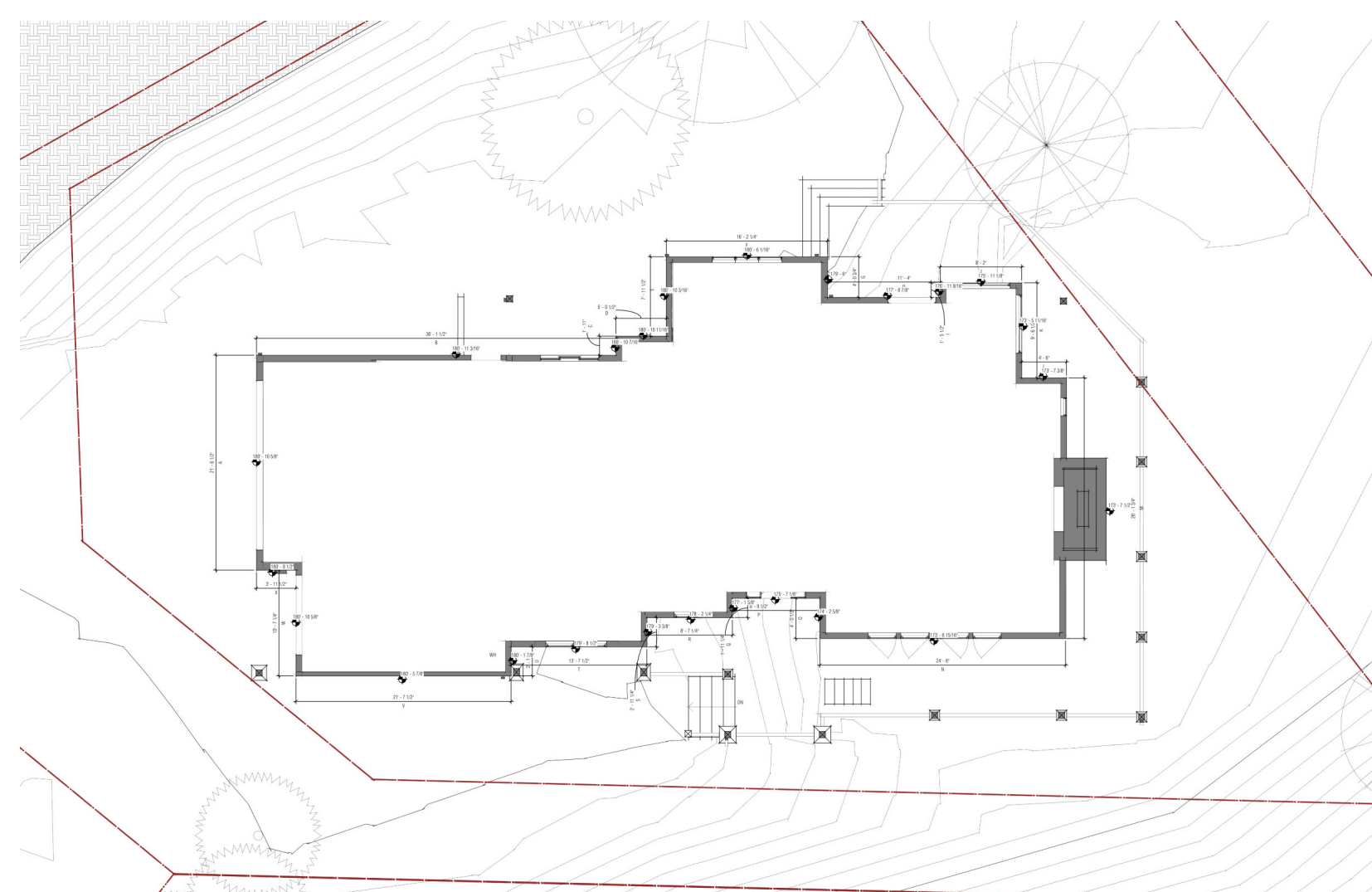
MERCER ISLAND MUNICIPAL CODE 19.02.020: WEIGHTED SUM OF MIDPOINT ELEVATIONS AT EXISTING GRADE OR FINISHED WHICH EVER IS LOWER

PROJECT ELEVATION 'xxx' = SURVEY ELEVATION 'xxxxx'

BUILDING FACADE	LENGTH		MIDPOINT ELEVATION		TOTAL
A.	21.54	X	180.90	=	3,896.58
B.	36.12	X	180.95	=	6,535.91
C.	1.91	X	180.86	=	345.44
D.	5.04	X	180.90	=	911.73
E.	7.95	X	180.85	=	1,437.75
F.	16.18	X	180.50	=	2,920.49
G.	4.06	X	179.50	=	728.77
H.	11.33	X	177.75	=	2,013.90
I.	1.45	X	177.00	=	256.65
J.	8.16	X	175.95	=	1,435.75
K.	9.54	X	173.47	=	1,654.90
L.	4.5	X	173.61	=	781.24
M.	26.14	X	173.62	=	4,538.42
N.	24.66	X	173.75	=	4,284.67
O.	4.84	X	174.21	=	843.80
P.	8.29	X	173.60	=	1,443.62
Q.	1.97	X	177.13	=	348.94
R.	8.60	X	178.18	=	1,532.34
S.	2.93	X	179.30	=	525.34
T.	13.62	X	179.70	=	2,447.51
U.	2.91	X	180.15	=	524.23
V.	21.62	X	180.50	=	3,902.41
W.	10.60	X	180.90	=	1,917.54
X.	3.93	X	180.70	=	710.15
TOTAL	257.59'				45,897.98

AVERAGE MIDPOINT ELEVATION (45,897.98/257.59) = 178.81
 AVERAGE GRADE REFERENCED TO 0'-0" DATUM (XXXX-XXXX) = -X'-X"

GRADE AVERAGE: 178.81' DECIMAL FEET OR (178' - 9 23/32")
 MAX WALL HEIGHT: 30'-0" OR (208' 9 - 3/4")
 PROPOSED HEIGHT: 208' - 1 7/16"



7 AVERAGE GRADE ELEVATION DIAGRAM (NOT TO SCALE)

AREAS - GFA EXISTING

AREA NAME	AREA (SF)	CONDITIONED SPACE	PHASE OF CONSTRUCTION
GARAGE	777 SF	No	EXISTING
No	777 SF		
BASEMENT	920 SF	Yes	EXISTING
MAIN FLOOR	1823 SF	Yes	EXISTING
SECOND FLOOR	1342 SF	Yes	EXISTING
Yes	4085 SF		
Grand total	4862 SF		

AREAS - GFA NEW CONSTRUCTION

AREA NAME	AREA (SF)	CONDITIONED SPACE	PHASE OF CONSTRUCTION
GARAGE	777 SF	No	EXISTING
No	777 SF		
BASEMENT	920 SF	Yes	EXISTING
MAIN FLOOR	1833 SF	Yes	EXISTING
MAIN FLOOR (NEW)	176 SF	Yes	NEW CONSTRUCTION
SECOND FLOOR (EXISTING)	1255 SF	Yes	EXISTING
SECOND FLOOR (NEW)	976 SF	Yes	NEW CONSTRUCTION
Yes	5160 SF		
Grand total	5937 SF		

5160 - 4085 = 1,075 SF OF CONDITIONED SPACE ADDED
 USE FOR ENERGY CREDITS, G1.01

AREA TYPES

- EXISTING
- EXISTING - EXTERIOR
- NEW CONSTRUCTION
- NEW CONSTRUCTION - EXTERIOR

GROSS FLOOR AREA

PER MERCER ISLAND CITY CODE 19.02.020

ZONING = R-9.6

THE GROSS FLOOR AREA SHALL NOT EXCEED 8,000 SF OR 40% OF LOT AREA, WHICHEVER IS LESS

LOT AREA = 14,944 SF

40% OF 14,944 = 5,978 SF < 8,000 SF

MAX. ALLOWABLE GROSS FLOOR AREA = 5,978 SF

GROSS FLOOR AREA
 THE SUM OF THE FLOOR AREAS BOUNDED BY THE EXTERIOR FACES OF EACH BUILDING ON A RESIDENTIAL LOT.

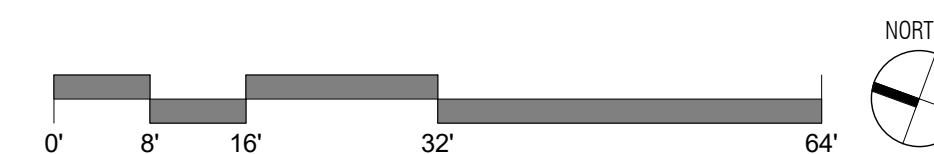
BASEMENT BELOW GRADE MODIFIER PER TITLE 19 APPENDIX B
 TOTAL BASEMENT AREA x SUM (WALL SEGMENT COVERAGE x WALL SEGMENT LENGTH) - SEE EXTERIOR ELEVATIONS FOR WALL SEGMENT COVERAGE %
 (54,469 / 136.8) = 38%

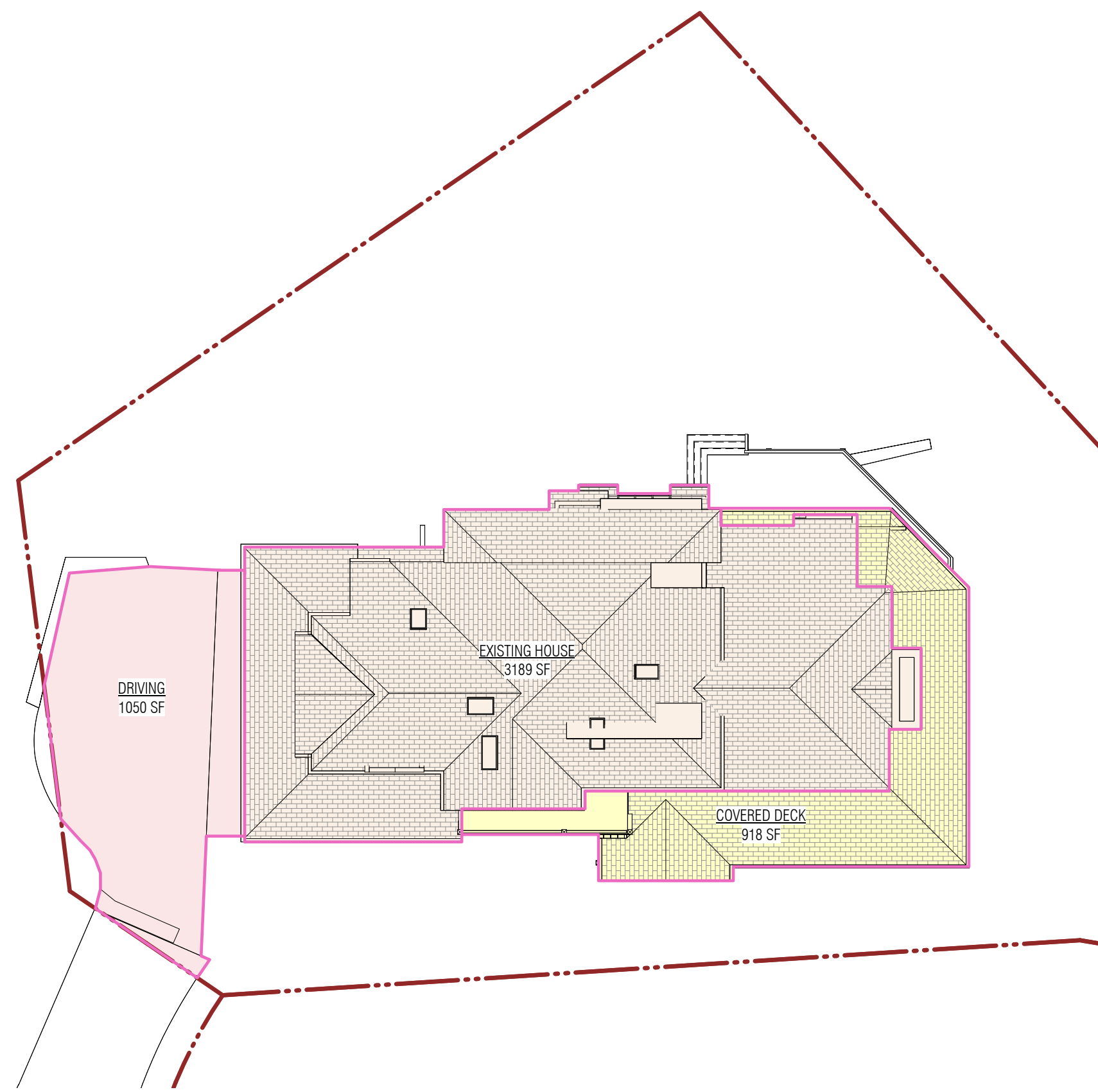
- A = 10.6 x 3% = 0.318
- B = 23.7 x 0% = 0
- C = 26.3 x 0% = 0
- D = 7.9 x 0% = 0
- E = 5.9 x 5% = 0.295
- F = 19 x 58% = 11.02
- G = 9.4 x 94% = 8.836
- H = 16.8 x 100% = 16.8
- I = 13 x 100% = 13
- J = 4.2 x 100% = 4.2

= BASEMENT AREA x PERCENT COVERED
 = 920 x 38% = 349.6 SF

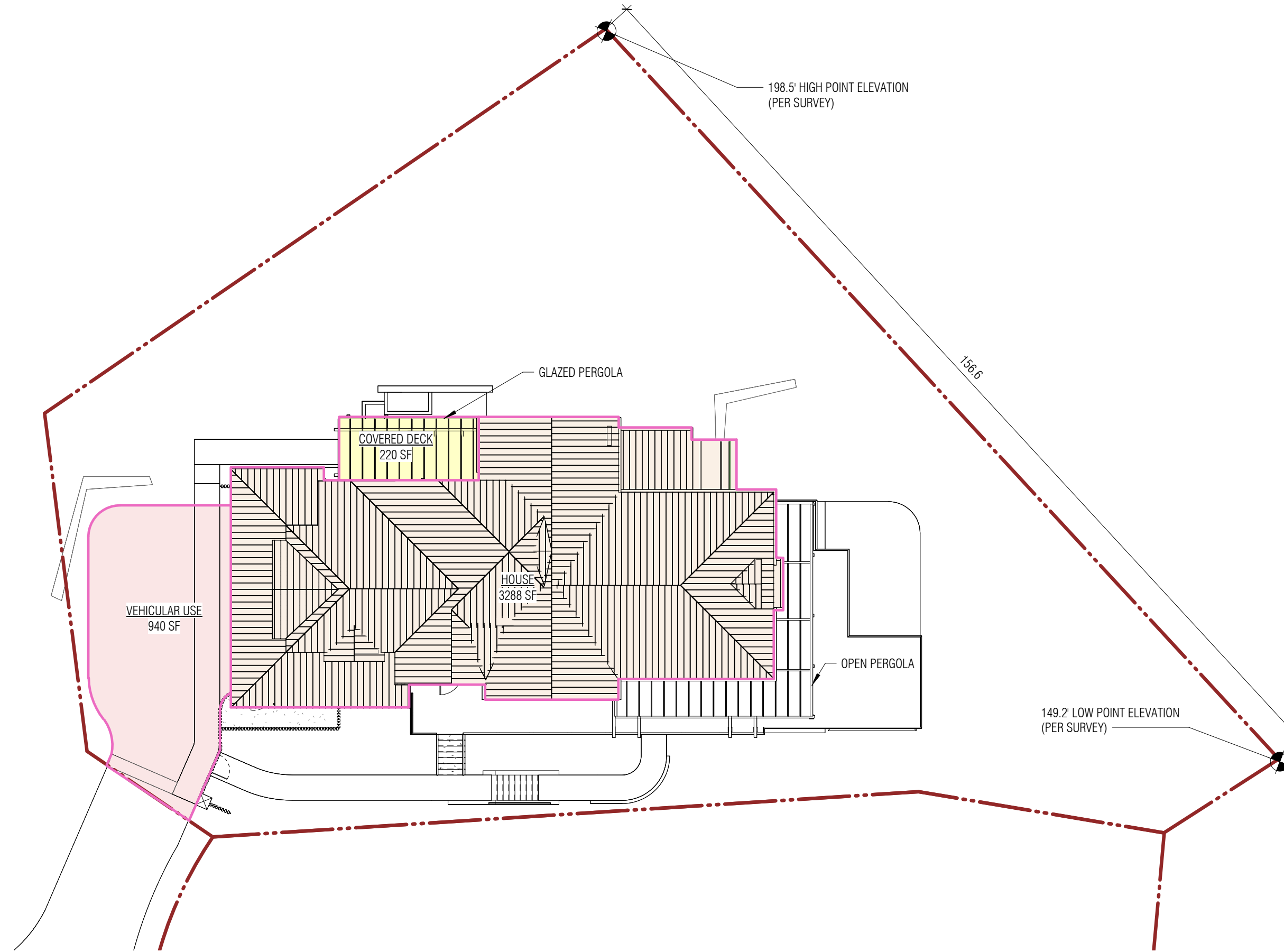
GROSS FLOOR AREA = 5,541 < 5,978 SF

BASEMENT MODIFICATION - LESS 396 SF
 = 5541 SF (WITH MODIFIERS) - SEE GROSS FLOOR AREA SUMMARY ABOVE

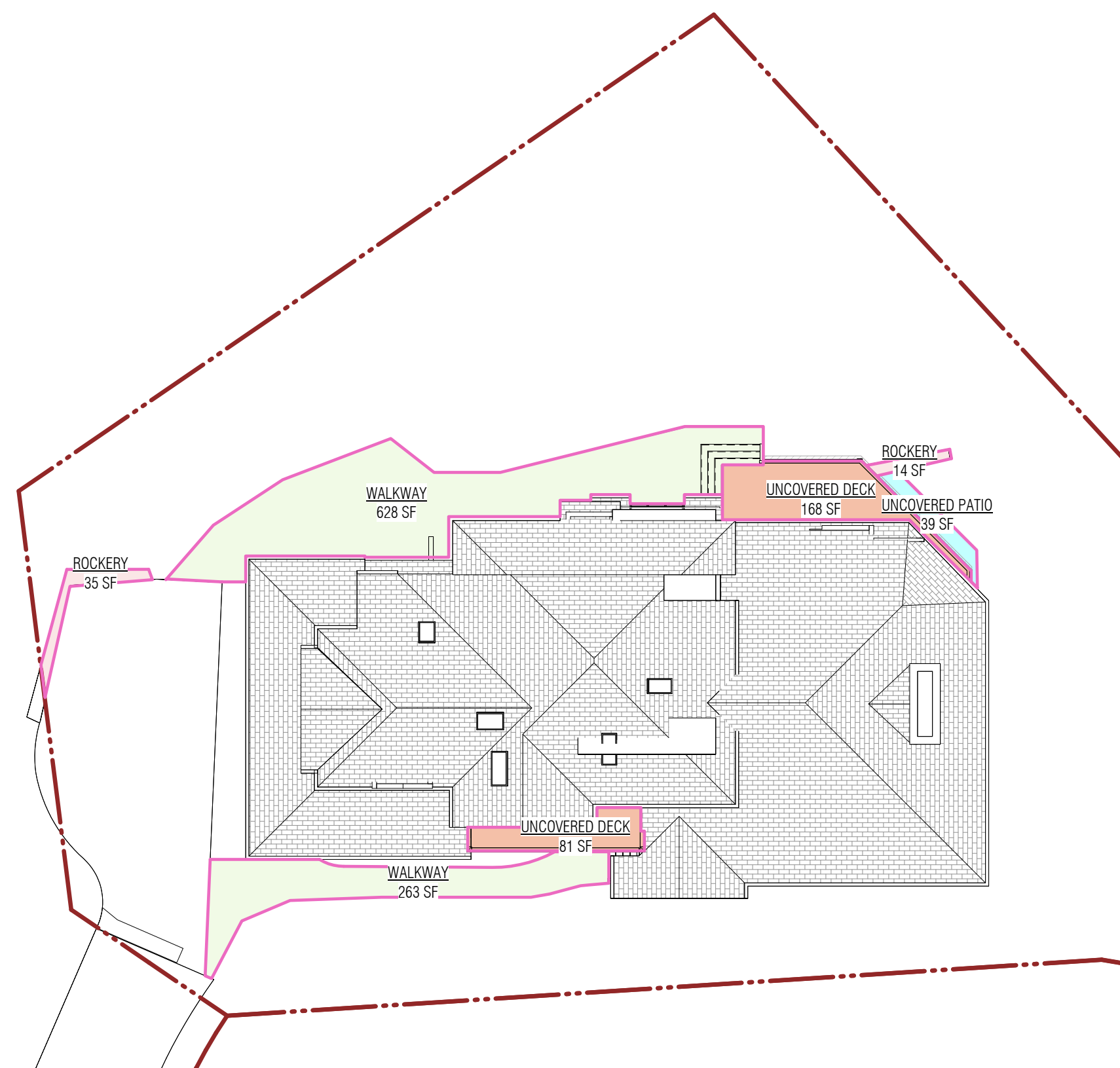




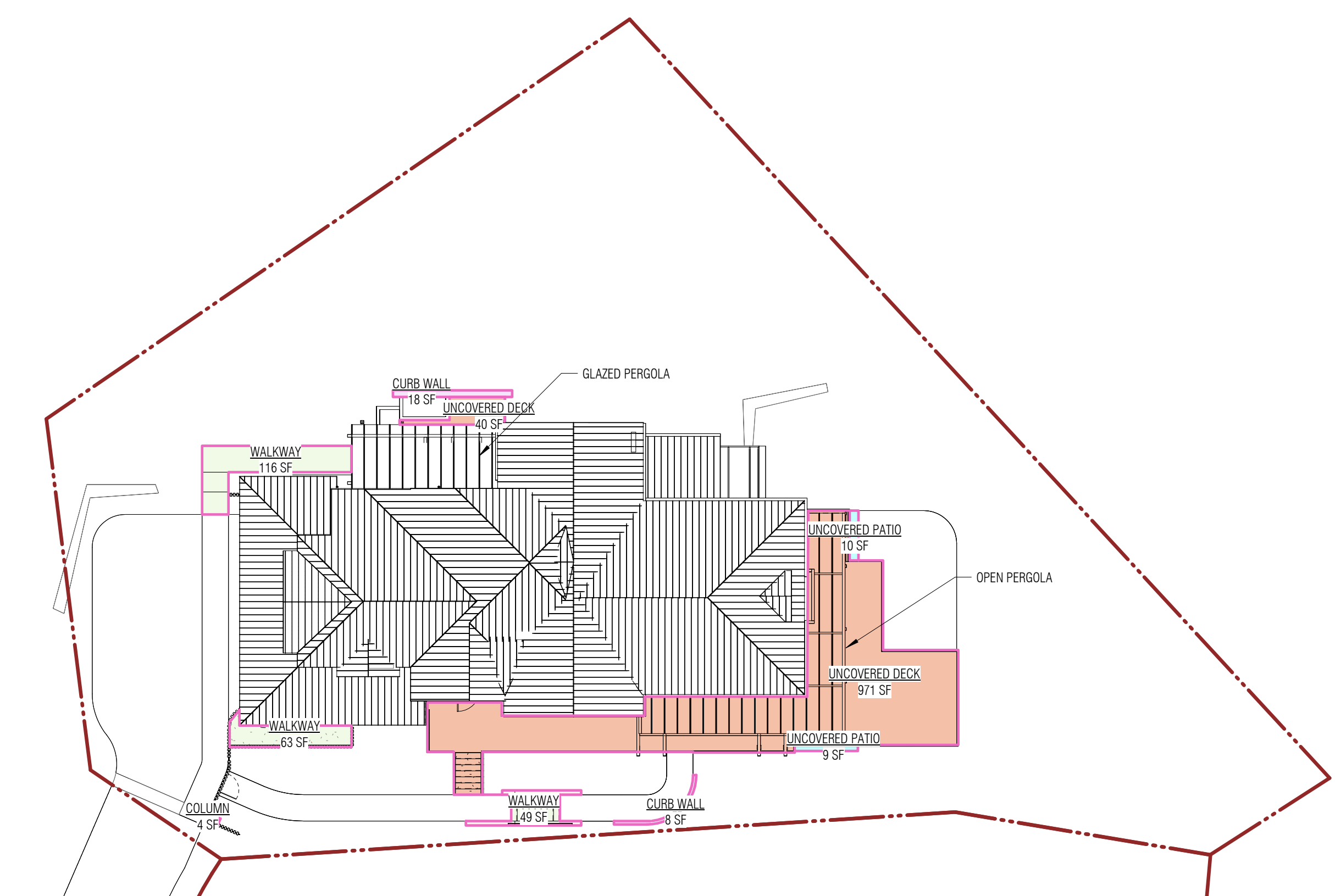
1 LOT COVERAGE CALCULATOR - EXISTING
1/16" = 1'-0"



2 LOT COVERAGE CALCULATOR - PROPOSED
1/16" = 1'-0"



3 HARDSCAPE CALCULATOR - EXISTING
1/16" = 1'-0"



4 HARDSCAPE CALCULATOR - PROPOSED
1/16" = 1'-0"

LOT COVERAGE CALCULATIONS

PER MERCER ISLAND CITY CODE 19.02.060

- I. LOT COVERAGE IS CALCULATED BY TOTALLING THE FOLLOWING:
 1. ALL DRIVABLE SURFACES (DRIVEWAY, PARKING PAD, TURN-AROUNDS ETC. REGARDLESS OF THE MATERIAL TYPE (E.G. PAVEMENT DRIVEWAY COUNTS TOWARDS LOT COVERAGE)
 2. ROOF LINE (INCLUDES EAVES AND COVERED DECKS)
- II. LOT COVERAGE IS LIMITED TO A PERCENTAGE OF NET LOT AREA; THIS PERCENTAGE VARIES BETWEEN 20-40% DEPENDING ON THE SLOPE OF THE LOT. LOT SLOPE IS CALCULATED BY SUBTRACTING THE LOWEST EXISTING ELEVATION FROM THE HIGHEST EXISTING ELEVATION AND DIVIDING THE RESULTING NUMBER BY THE SHORTEST HORIZONTAL DISTANCE BETWEEN THESE TWO POINTS.

LOT SLOPE CALCULATIONS AS FOLLOWS (SEE SURVEY FOR HIGH AND LOW REFERENCE ELEVATIONS)

HIGHEST ELEVATION POINT OF LOT = 198.5
 LOWER ELEVATION POINT OF LOT = 149.2
 ELEVATION DIFFERENCE = 49.3
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS = 156.6'
 LOT SLOPE = 31.5%
 LOT COVERAGE FOR SLOPES BETWEEN 30% AND 50% = 30%

LOT COVERAGE CALCULATIONS

A. GROSS LOT AREA	14,944 SF
B. NET LOT AREA	14,944 SF
C. ALLOWED LOT COVERAGE AREA	4,483 SF
D. ALLOWED LOT COVERAGE	30% OF LOT
E. EXISTING LOT COVERAGE:	
1. MAIN STRUCTURE ROOF AREA	3,189 SF
2. ACCESSORY BUILDING ROOF AREA	0 SF
3. VEHICULAR USE	1,050 SF
4. COVERED PATIOS AND COVERED DECKS	918 SF
5. TOTAL EXISTING LOT COVERAGE (E1 + E2 + E3 + E4)	= 5,157 SF
F. TOTAL LOT COVERAGE AREA REMOVED	5,157 SF
G. PROPOSED ADJUSTMENT FOR SINGLE STORY (AREA)	N/A
H. PROPOSED ADJUSTMENT FOR FLAG LOT	N/A
I. TOTAL NEW LOT COVERAGE AREA:	
1. MAIN STRUCTURE ROOF AREA	3,288 SF
2. ACCESSORY STRUCTURE ROOF AREA	0 SF
3. VEHICULAR USE	940 SF
4. COVERED PATIOS AND COVERED DECKS	220 SF
5. TOTAL NEW LOT COVERAGE AREA (I1 + I2 + I3 + I4)	= 4,448 SF
J. TOTAL PROJECT LOT COVERAGE AREA (E5 - F) + I5	= 4,448 SF
K. PROPOSED LOT COVERAGE AREA (J/I8) x 100	= 29.8%

AREAS - LOT COVERAGE EXISTING

COVERAGE TYPE	AREA
COVERED PATIO / COVERED DECK	918 SF
MAIN HOUSE ROOF STRUCTURE	3189 SF
VEHICULAR USE	1050 SF
	5157 SF

AREAS - LOT COVERAGE PROPOSED

COVERAGE TYPE	AREA
COVERED PATIO / COVERED DECK	220 SF
MAIN HOUSE ROOF STRUCTURE	3288 SF
VEHICULAR USE	940 SF
	4448 SF

HARDSCAPE CALCULATIONS

PER MERCER ISLAND CITY CODE 19.02.060

- III. ALLOWED: A MAXIMUM OF 9% OF THE LOT AREA CAN BE HARDSCAPE.
 1. HARDSCAPE INCLUDES: PATIOS, UNCOVERED STEPS, WALKWAYS, DECKS, RETAINING WALLS, ROCKERIES, AND OTHER HARDENED SURFACES OTHER THAN DRIVABLE SURFACES OR ROOFS.
 2. HARDSCAPE IMPROVEMENTS CAN BE WITHIN THE MAXIMUM LOT COVERAGE ALLOWANCE. THAT IS, IF THE PROPOSED LOT COVERAGE IS LESS THAN THE MAXIMUM LOT COVERAGE, THE DIFFERENCE BETWEEN THE MAXIMUM AND PROPOSED AREAS CAN BE USED FOR HARDSCAPE.

A. GROSS LOT AREA	14,944 SF
B. NET LOT AREA	14,944 SF
C. AREA BORROWED FROM LOT COVERAGE	35 SF
D. ALLOWED HARDSCAPE AREA = 9% OF LOT AREA + C	= 9.2%
E. ALLOWED HARDSCAPE AREA	1,380 SF
F. TOTAL EXISTING HARDSCAPE AREA:	
1. UNCOVERED DECKS	249 SF
2. UNCOVERED PATIOS	39 SF
3. WALKWAYS	891 SF
4. STAIRS	INCLUDED ABOVE
5. ROCKERIES AND RETAINING WALLS	49 SF
6. OTHER	N/A
7. TOTAL EXISTING HARDSCAPE AREA (F1 + F2 + F3 + F4 + F5 + F6)	= 1,228 SF
G. TOTAL HARDSCAPE AREA REMOVED	1,179 SF
H. TOTAL NEW HARDSCAPE AREA:	
1. UNCOVERED DECKS	1,011 SF
2. UNCOVERED PATIOS	19 SF
3. WALKWAYS	228 SF
4. STAIRS	INCLUDED ABOVE
5. ROCKERIES AND RETAINING WALLS	26 SF
6. OTHER	4 SF
7. TOTAL NEW HARDSCAPE AREA (H1 + H2 + H3 + H4 + H5 + H6)	= 1,288 SF
I. TOTAL PROJECT HARDSCAPE AREA (F7 - G) + H7	= 1,337 SF
J. TOTAL PROJECT HARDSCAPE AREA (I/B) x 100	= 8.9%

AREAS - HARDSCAPE EXISTING

Occupancy Type	Area
ROCKERY	49 SF
UNCOVERED DECK	249 SF
UNCOVERED PATIO	39 SF
WALKWAY	891 SF
	1228 SF

AREAS - HARDSCAPE PROPOSED

HARDSCAPE TYPE	AREA
COLUMN	4 SF
CURB WALL	26 SF
UNCOVERED DECK	1011 SF
UNCOVERED PATIO	19 SF
WALKWAY	228 SF
	1288 SF

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

LEGAL DESCRIPTION

PARCEL A:
LOT 7 OF WATERSIDE, AS PER PLAT RECORDED IN VOLUME 155 OF PLATS, PAGES 39 THROUGH 43, RECORDS OF KING COUNTY; TOGETHER WITH AN UNDIVIDED 1/10 INTEREST IN TRACTS A AND D; AND TOGETHER WITH AN UNDIVIDED 1/7 INTEREST IN TRACT C, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

PARCEL B:
LOT 6, OF WATERSIDE, AS PER PLAT RECORDED IN VOLUME 155 OF PLATS, PAGES 39 THROUGH 43, RECORDS OF KING COUNTY; TOGETHER WITH AN UNDIVIDED 1/10 INTEREST IN TRACTS A AND D; AND TOGETHER WITH AN UNDIVIDED 1/7 INTEREST IN TRACT C, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

N 42°16'18" E BETWEEN FOUND CENTERLINE MONUMENTATION ALONG EAST MERCER WAY - AS CALCULATED PER R1

REFERENCES

R1. PLAT OF WATERSIDE, VOL. 155, PG. 39, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88 PER CITY OF MERCER ISLAND BENCHMARK #1694
DB ID: 47232
ELEV: 113.076

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN APRIL OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 9197800060 & 9197800070.
5. TOTAL SUBJECT PROPERTY AREA PER THIS SURVEY IS 30,078± S.F. (0.69 ACRES)
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 4209-3659547, WITH AN EFFECTIVE DATE OF MARCH 05, 2021 AND THAT ALL EASEMENTS, COVENANTS, AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	BUILDING		PAVER SURFACE
	CENTERLINE ROW		REBAR AS NOTED (FOUND)
	CONCRETE SURFACE		REBAR & CAP (SET)
	RETAINING WALL		ROCKERY
	EASEMENT AREA		SEWER LINE
	DECK		SEWER MANHOLE
	FIRE HYDRANT		STORM DRAIN LINE
	GAS LINE		TREE (AS NOTED)
	GAS METER		WATER LINE
	HEDGE FOLIAGE LINE		WATER METER
	INLET (TYPE 1)		WATER VALVE
	NAIL AS NOTED		COLUMN
	MONUMENT IN CASE (FOUND)		POWER METER
			STEEP SLOPE AREA

VICINITY MAP

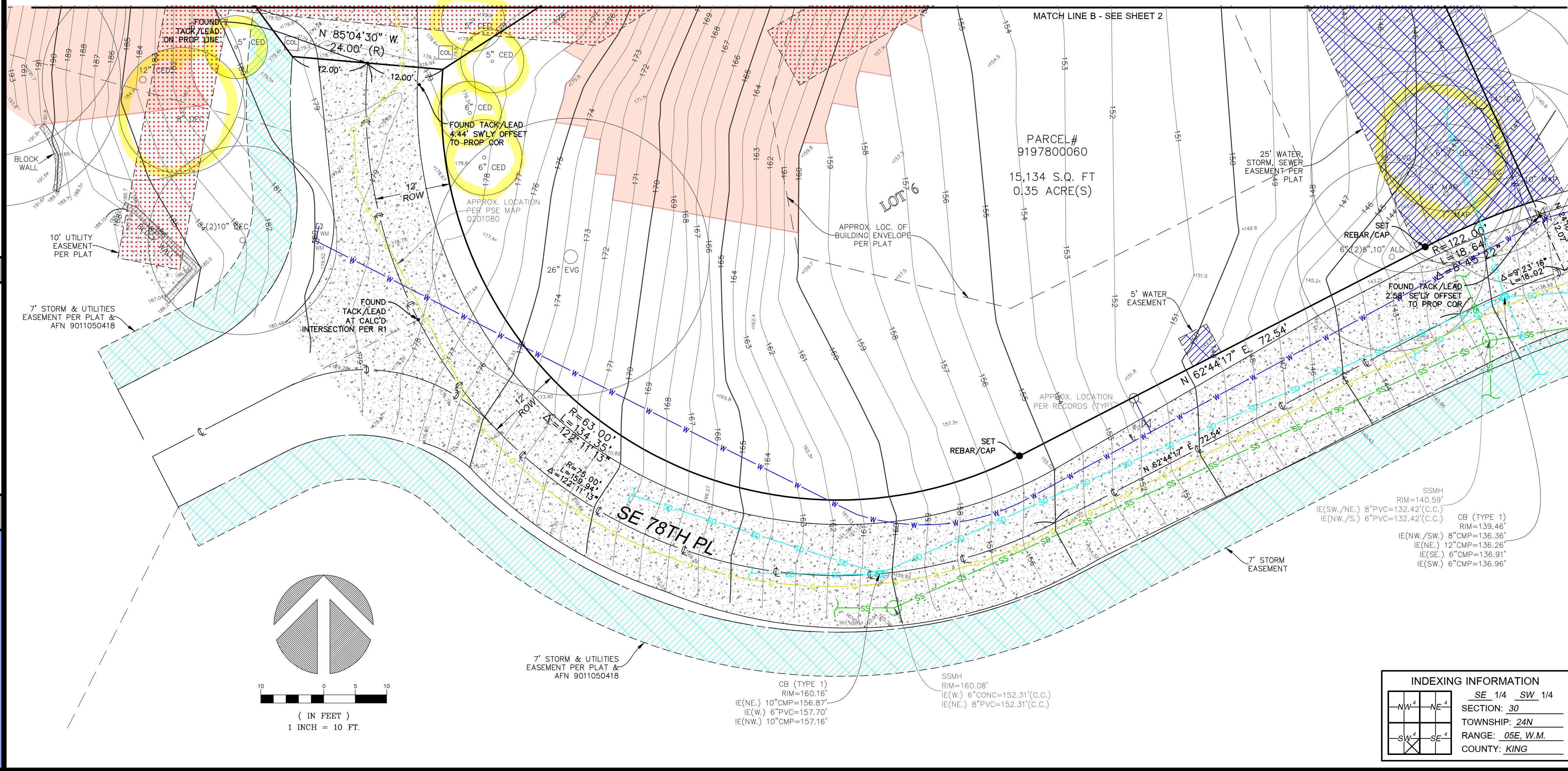
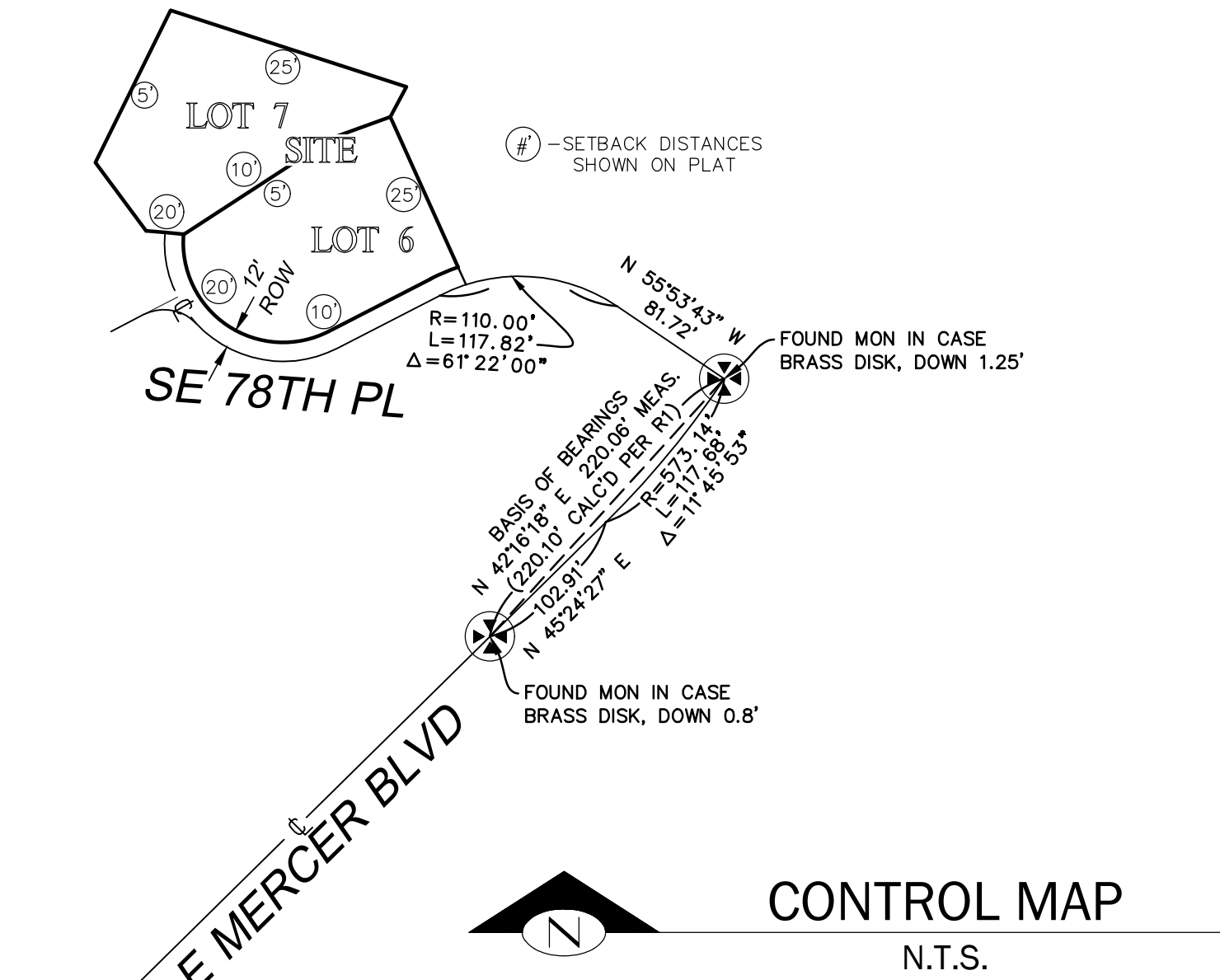
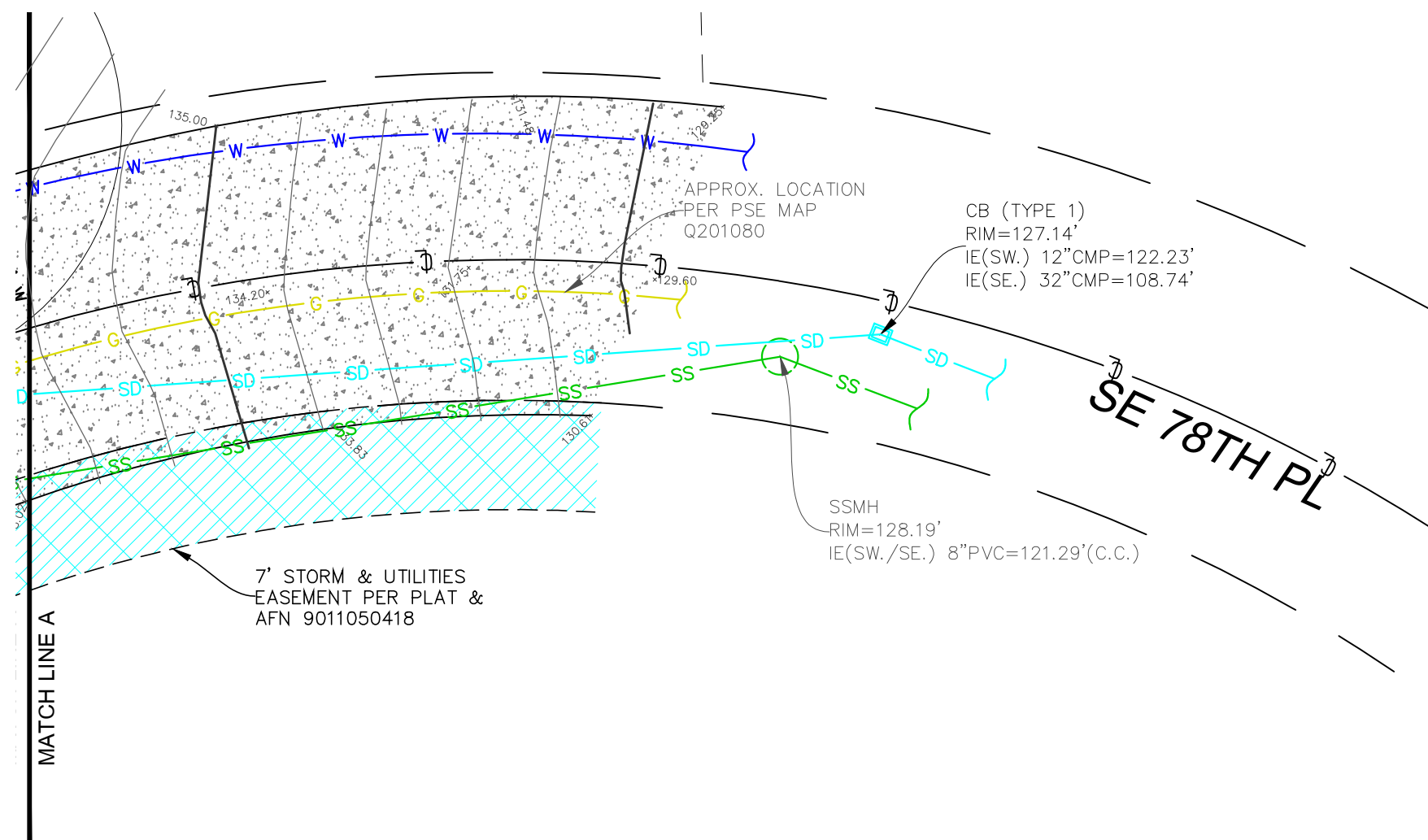
N.T.S.



SCHEDULE B ITEMS

15. EASEMENT, INCLUDING TERMS AND CONDITIONS CONTAINED THEREIN:
GRANTED TO: LEO S. FISCHER, HIS SUCCESSORS AND ASSIGNS FOR:
SANITARY SEWER MAINLINE
RECORDED: AUGUST 30, 1965
RECORDING INFORMATION: 5921612
(DOES NOT AFFECT-EASEMENT IS ON MORTH END OF PLAT)
16. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:
RECORDING INFORMATION: 5921613
FOR: TEMPORARY EASEMENT
(DOES NOT AFFECT-EASEMENT IS ON MORTH END OF PLAT)
17. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY SHORT PLAT OR PLAT NO. M-86-09-14 RECORDED UNDER RECORDING NUMBER 8704229001. (CURRENT CONDITIONS SHOWN HEREON)
18. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:
RECORDED: NOVEMBER 05, 1990
RECORDING INFORMATION: 9011050418
IN FAVOR OF: PUGET SOUND ENERGY, INC., A WASHINGTON CORPORATION
FOR: ELECTRIC AND/OR GAS TRANSMISSION AND/OR DISTRIBUTION SYSTEM (PLOTTED)
19. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY SHORT PLAT OR PLAT OF WATERSIDE RECORDED IN VOLUME 155 OF PLATS, PAGE(S) 39 THROUGH 43. (EASEMENT AND SETBACKS PLOTTED-OTHER RESTRICTIONS APPLY)
20. COVENANTS, CONDITIONS, RESTRICTIONS AND/OR EASEMENTS; BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILY STATUS, OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES:
RECORDING INFORMATION: 9102070608
(BLANKET IN NATURE)
MODIFICATION AND/OR AMENDMENT BY INSTRUMENT:
RECORDING INFORMATION: 9105070359 AND 9312060854
(BLANKET IN NATURE)
22. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT AND OPTION"
RECORDED: FEBRUARY 01, 1994
RECORDING NO.: 9402011734
(DEPICTION OF EASEMENT NOT ATTACHED)

STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 9197800060 & 9197800070

LEUNG RESIDENCE
9102 SE 78TH PL
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

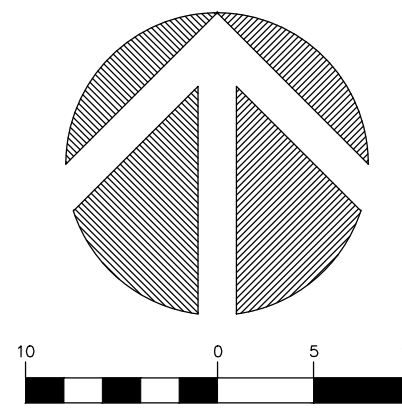
JOB NUMBER:	210566
DATE:	04/22/21
DRAFTED BY:	RSN
CHECKED BY:	JGM/CSP
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	
1 OF 2	

INDEXING INFORMATION	
NW-1	NE-1
SW-1	SE-1
SECTION: 30	
TOWNSHIP: 24N	
RANGE: 05E, W.M.	
COUNTY: KING	

TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

	BUILDING		PAVER SURFACE
	CENTERLINE ROW		REBAR AS NOTED (FOUND)
	CONCRETE SURFACE		REBAR & CAP (SET)
	RETAINING WALL		ROCKERY
	EASEMENT AREA		SEWER LINE
	DECK		SEWER MANHOLE
	FIRE HYDRANT		STORM DRAIN LINE
	GAS LINE		TREE (AS NOTED)
	GAS METER		WATER LINE
	HEDGE FOLIAGE LINE		WATER METER
	INLET (TYPE 1)		WATER VALVE
	NAIL AS NOTED		COLUMN
	MONUMENT IN CASE (FOUND)		POWER METER
			STEEP SLOPE AREA



(IN FEET)
1 INCH = 10 FT.



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BENCHMARK LOCATIONS (2)

INDEXING INFORMATION	
	SE 1/4 SW 1/4
	SECTION: 30
	TOWNSHIP: 24N
	RANGE: 05E, W.M.
	COUNTY: KING

TOPOGRAPHIC & BOUNDARY SURVEY

LEUNG RESIDENCE
9102 SE 78TH PL
MERCER ISLAND, WA 98040

PARCEL NO. 9197800070 & 9197800070



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10801 Main Street, Suite 102, Bellevue, WA 98004
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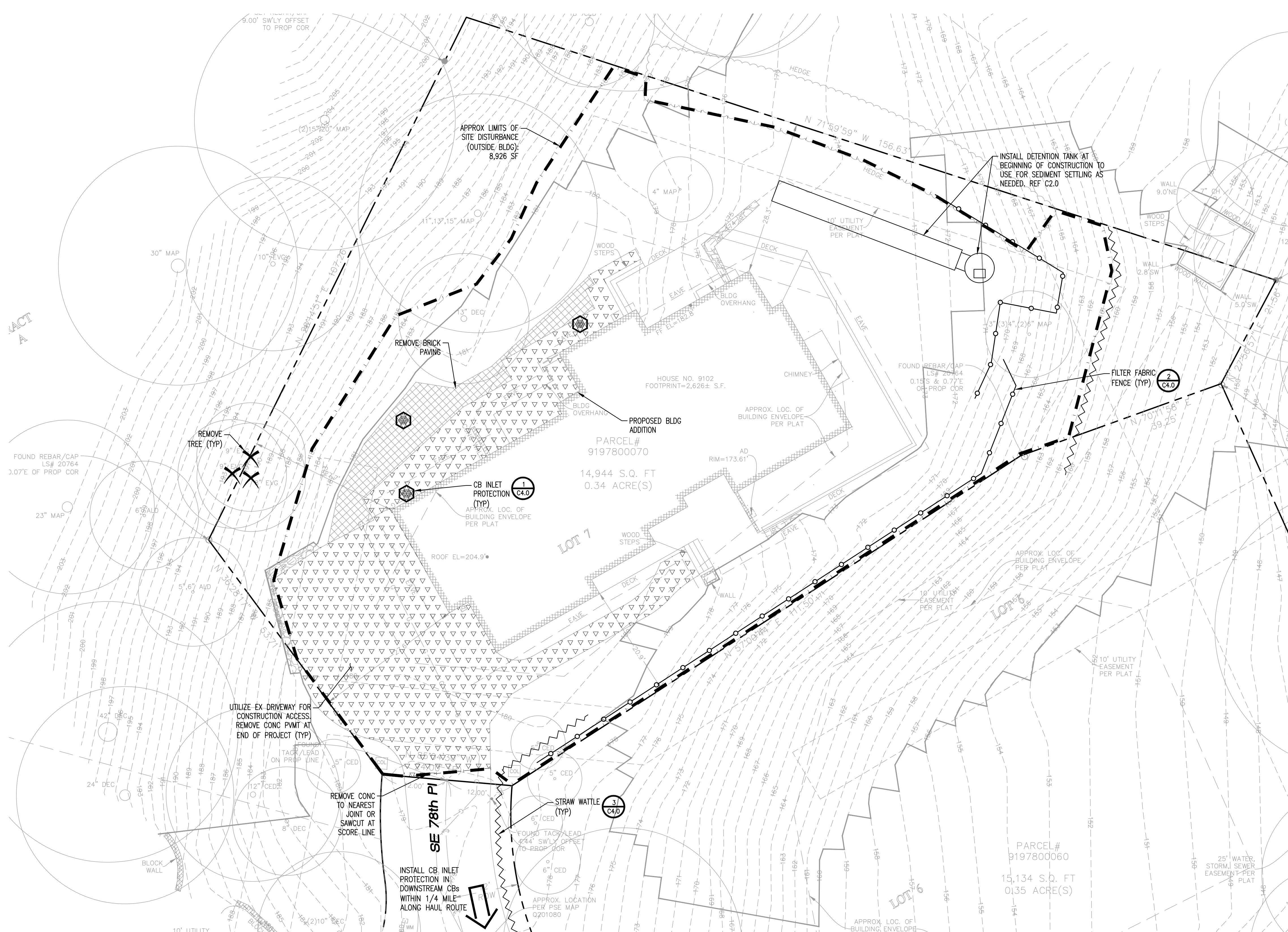
JOB NUMBER: 210566
DATE: 04/22/21
DRAFTED BY: RSN
CHECKED BY: JGM/CSP
SCALE: 1"= 10'

REVISION HISTORY

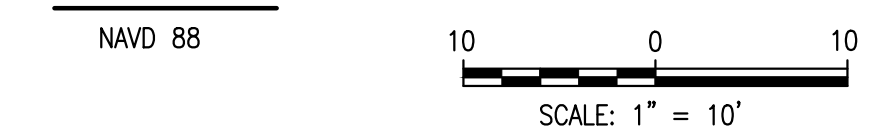
NO.	DATE	DESCRIPTION

SHEET NUMBER

measure success



Datum



Legend

- REMOVE CONCRETE PAVEMENT/SIDEWALK
- STRAW WATTLE
- FILTER FABRIC FENCE
- SAWCUT PAVEMENT
- DISTURBANCE LIMITS
- CATCH BASIN PROTECTION

Notes

1. SEE BELOW FOR TESC GENERAL NOTES AND SHEET C3.0 FOR GENERAL NOTES.
2. MAINTAIN/RELOCATE TESC MEASURES AND PROVIDE ADDITIONAL TESC MEASURES AS REQUIRED TO STABILIZE EXPOSED SOILS, MINIMIZE SEDIMENT TRANSPORT ON SITE, AND MEET ALL SITE DISCHARGE AND PERMIT REQUIREMENTS. ADDITIONAL FACILITIES BEYOND THOSE INDICATED ON THIS PLAN MAY BE REQUIRED, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND PROVIDE ADDITIONAL MEASURES THAT ARE NECESSITATED DUE TO THEIR OPERATIONS AND SEQUENCING OF THE WORK. ALL TESC MEASURES SHALL BE REMOVED FOLLOWING SITE STABILIZATION WITH FINAL PAVING AND PLANTING.
3. NOT ALL REQUIRED CB PROTECTION IS INDICATED ON THIS PLAN. INSTALL CB PROTECTION IN ALL EX CATCH BASINS TO REMAIN DURING CONSTRUCTION AND ALL INSTALLED CATCH BASINS. MAINTAIN PROTECTION UNTIL TRIBUTARY SURFACES ARE STABILIZED.
4. ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES IN AREA OF EXCAVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES TWO WEEKS PRIOR TO PERFORMING ANY TEMP. SHORING OR EXCAVATION WORK.
5. COORDINATE ALL UTILITY INTERRUPTIONS WITH AFFECTED FACILITY OWNERS. PROVIDE MINIMUM 2 WEEKS ADVANCE NOTICE OF SERVICE INTERRUPTIONS.
6. COMPLY WITH MERCER ISLAND TESC REQUIREMENTS, AND PROCURE ALL SIDE SEWER PERMITS AND REQUIRED APPROVALS FROM MERCER ISLAND AND/OR KING COUNTY FOR CONSTRUCTION DEWATERING/STORMWATER DISCHARGES. DESIGN AND PROVIDE ADDITIONAL TEMPORARY STORAGE AND WATER QUALITY TREATMENT FACILITIES, INCLUDING BUT NOT LIMITED TO PRETREATMENT AND STORAGE TANKS, SAND FILTRATION, CHEMICAL TREATMENT SYSTEMS, PIPING, PUMPS, AND ANY OTHER SITE DISCHARGES, IF REQUIRED. DETERMINE THE NUMBER, TYPE, AND LOCATION OF TREATMENT SYSTEMS IN ACCORDANCE WITH CONTRACTORS' OPERATIONS.
7. PROVIDE SUMPS, PUMPS, STORMWATER TREATMENT SYSTEMS AND INTERCEPTOR SWALES NECESSARY FOR DEWATERING. DETERMINE THE NUMBER, LOCATIONS, AND SIZE OF TEMPORARY SUMPS, PUMPS, AND SWALES IN ACCORDANCE WITH CONTRACTORS' OPERATIONS.
8. REMOVE ALL TEMPORARY PIPING AND CAP OR PLUG ALL TEMPORARY PIPE CONNECTIONS UPON TERMINATION OF USE.
9. COORDINATE ALL UTILITY DEMOLITION WITH CONSTRUCTION OF NEW SYSTEMS. TEMPORARILY MAINTAIN EXISTING UTILITY SYSTEMS AS REQUIRED TO CONVEY FLOWS FROM PORTIONS OF SITE OUTSIDE CONSTRUCTION AREAS AND PROVIDE TEMPORARY BYPASS AND PUMPING SYSTEMS AS REQUIRED BY CONTRACTOR'S OPERATIONS AND OWNER'S USE OF FACILITIES.
10. PROVIDE ALL REQUIRED MONITORING, TESTING, REPORTING, AND ALL OTHER COMPLIANCE MEASURES AS NECESSARY TO MEET PROJECT PERMIT COVERAGE REQUIREMENTS.
11. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR.

Cut and Fill Quantity Estimate

NOTE: QUANTITIES NOTED ARE APPROXIMATE AND ARE TO BE USED FOR MUNICIPAL PERMITTING ONLY. CONTRACTOR IS TO PERFORM THEIR OWN QUANTITY TAKE-OFFS BASED ON THE CONTRACT DOCUMENTS.

CUT: 105 CY UTILITY TRENCHING + 27 CY REGRADING = ±132 CY
 FILL: ±30 CY

TESC General Notes

1. THE IMPLEMENTATION OF THESE TESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF TESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED, VEGETATION/LANDSCAPING IS ESTABLISHED AND THE ENTIRE SITE IS STABILIZED.
2. THE BOUNDARIES OF THE CLEARING LIMITS SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE MARKING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
3. THE TESC FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED PRIOR TO AND/OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM OR ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
4. THE TESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, TESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE.
5. THE CESCL, CPESC, OR ESC LEAD SHALL BE IDENTIFIED IN THE SWPPP AND SHALL BE ONSITE OR ON CALL AT ALL TIMES.
6. THE CESCL, CPESC, OR ESC LEAD MUST BE KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL AND HAVE THE SKILLS TO ASSESS:
 - A. SITE CONDITIONS AND CONSTRUCTION ACTIVITIES THAT COULD IMPACT THE QUALITY OF STORMWATER.
 - B. EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES USED TO CONTROL THE QUALITY OF STORMWATER DISCHARGES.
7. THE CESCL, CPESC, OR ESC LEAD MUST EXAMINE STORMWATER VISUALLY FOR THE PRESENCE OF SUSPENDED SEDIMENT, TURBIDITY, DISCOLORATION, AND OIL SHEEN AND EVALUATE THE EFFECTIVENESS OF BMPs TO DETERMINE IF IT IS NECESSARY TO INSTALL, MAINTAIN, OR REPAIR BMPs.
8. THE CESCL, CPESC, OR ESC LEAD MUST INSPECT ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, ALL BMPs, AND ALL STORMWATER DISCHARGE POINTS AT LEAST ONCE EVERY CALENDAR WEEK AND WITHIN 24 HOURS OF ANY DISCHARGE FROM THE SITE. (INDIVIDUAL DISCHARGE EVENTS THAT LAST MORE THAN ONE DAY DO NOT REQUIRE DAILY INSPECTIONS). THE CESCL OR INSPECTOR MAY REDUCE THE INSPECTION FREQUENCY FOR TEMPORARILY STABILIZED, INACTIVE SITES TO ONCE EVERY CALENDAR MONTH.
9. CONSTRUCTION SITE OPERATORS MUST CORRECT ANY PROBLEMS IDENTIFIED BY THE CESCL, CPESC, OR ESC LEAD BY:
 - A. REVIEWING THE SWPPP FOR COMPLIANCE WITH THE 13 CONSTRUCTION SWPPP ELEMENTS AND MAKING APPROPRIATE REVISIONS WITHIN 7 DAYS OF THE INSPECTION.
 - B. FULLY IMPLEMENT AND MAINTAIN APPROPRIATE SOURCE CONTROL AND/OR TREATMENT BMPs AS SOON AS POSSIBLE BUT CORRECTING THE PROBLEM WITHIN 10 DAYS.
 - C. DOCUMENTING BMP IMPLEMENTATION AND MAINTENANCE IN THE SITE LOG BOOK. (REQUIRED FOR SITES LARGER THAN 1 ACRE BUT RECOMMENDED FOR ALL SITES).
10. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN SEDIMENT TRAP.
11. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
12. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

Board & Vellum
 115 15th Avenue East, Suite 100
 Seattle, Washington 98112
 info@boardandvellum.com
 +1 206 707 8895
 boardandvellum.com
 Architecture. Interiors. Site Design.

STATION 10 ENGINEERING
 CIVIL SITE DESIGN
 PO Box 171
 Edmonds, WA 98020
 206.419.0873



LEUNG RESIDENCE

PROJECT ADDRESS:
 6100 S.E. 78TH AVE
 MERCER ISLAND, WA 98040

OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION

ISSUANCES	
DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

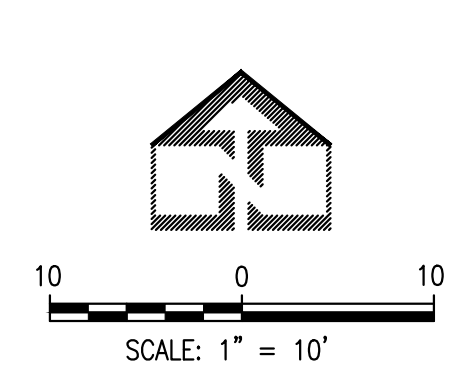
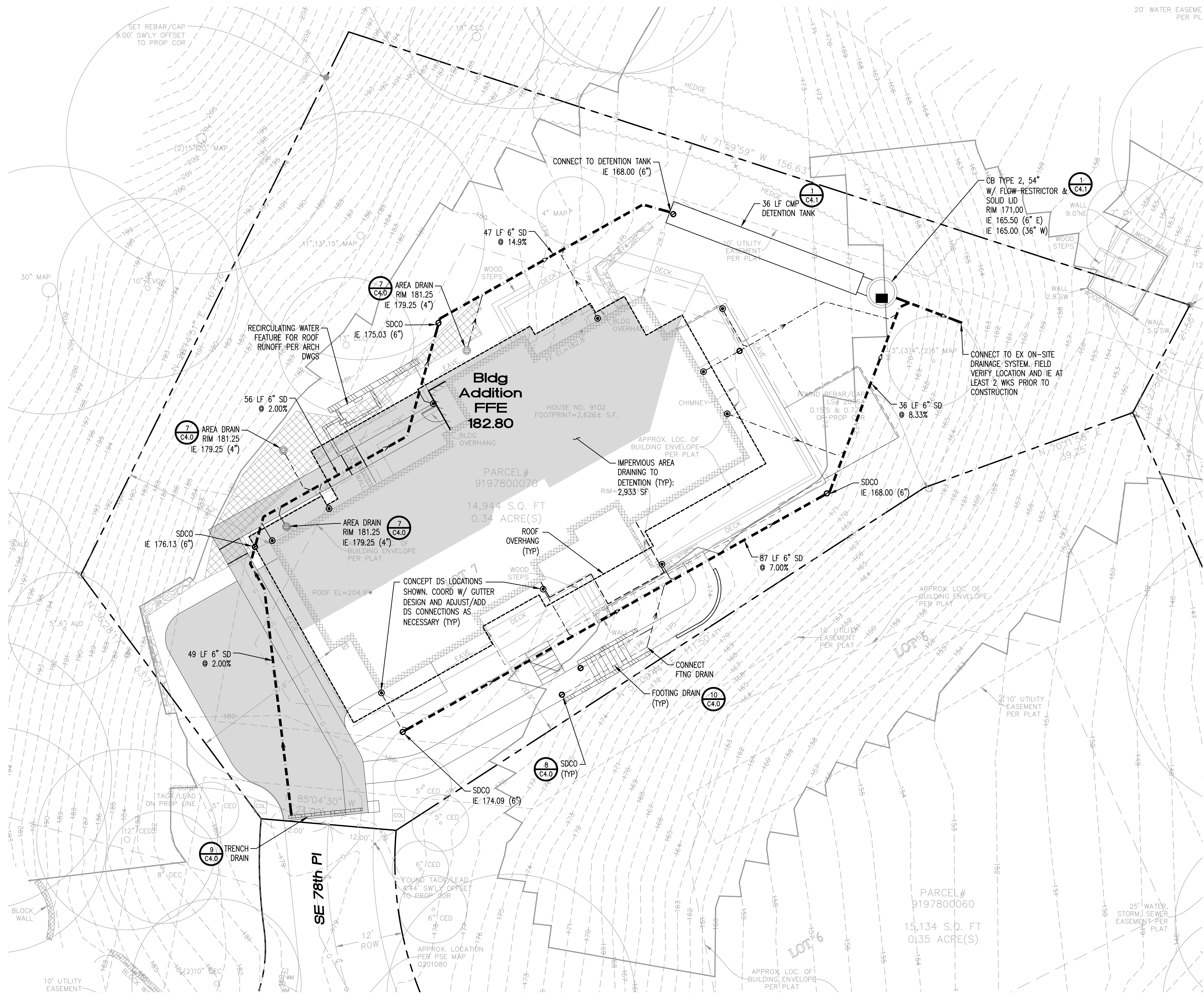
ORIGINAL SHEET SIZE IS 22"x34"	
BOARD & VELLUM PROJECT #:	2021054.00
JURISDICTION PROJECT #:	TBD
PLOT DATE:	08/31/2022

TESC AND SITE DEMO PLAN

SHEET NO.:

C1.0

File: C:\Users\stevenc\OneDrive - Station 10 Engineering - P\Projects\21\21028 Leung Mill SFR\PLANS\LEUNG-RES- SITE DEMO.dwg ID: stehattaway Date: 24-Aug-22 3:49:26pm



Datum

NAVD 88

Legend

- AREA DRAIN
- CB TYPE 2, SIZE AS NOTED
- CLEANOUT
- STORM DRAIN 4"
- STORM DRAIN 6" & UP
- DOWNSPOUT CONNECTION
- PERF UNDER-DRAIN/
FOOTING DRAIN
- RETAINING WALL
- TRENCH DRAIN

Detention Tank Sizing

IMPERVIOUS SURFACE AREA COLLECTED AND ROUTED TO DETENTION TANK: 2,933 SF

NEW/REPLACED IMPERVIOUS: 2,347 SF

PER MERCER ISLAND ON-SITE DETENTION DESIGN REQUIREMENTS TABLE 1, FOR TYPE C SOILS, 36 LF OF 4" DIAM DETENTION PIPE IS REQUIRED.

Notes

1. SEE SHEET C3.0 FOR GENERAL NOTES.
2. SEE SHEET C4.0 FOR TYPICAL TRENCH SECTION.
3. VERIFY LOCATION AND INVERTS OF ALL EX SYSTEMS AT PROPOSED POCs TO NEW LINES PRIOR TO CONSTRUCTION OF ANY NEW PIPING, AND NOTIFY ENGINEER OF ANY DISCREPANCIES AT LEAST 4 WORKING DAYS PRIOR TO STARTING PIPE LAYING OPERATIONS.
4. MAINTAIN ALL EXISTING UTILITY SERVICES DURING CONSTRUCTION. PROVIDE TEMPORARY SERVICES AND ALL BYPASS SYSTEMS, INCLUDING PUMPING, AS NECESSARY TO ACCOMPLISH NEW CONSTRUCTION AND MINIMIZE SERVICE INTERRUPTIONS.
5. PLACE STORM DRAINS AND SANITARY SEWERS AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 50% UNLESS NOTED OTHERWISE.
6. COORDINATE BLDG SYSTEM CONNECTION LOCATIONS AND IEs W/ MECH/PLUMBING CONTRACTOR. PROVIDE ALL REQUIRED FITTINGS FOR CONNECTION.
7. COORDINATE ALL UTILITY INTERRUPTIONS W/ AFFECTED FACILITY OWNERS. PROVIDE MIN 2 WEEKS ADVANCE NOTICE OF ANY SERVICE INTERRUPTION.
8. CONFIRM THAT ALL UNDERGROUND UTILITY SYSTEMS ARE INSTALLED AND FUNCTIONAL PRIOR TO PAVING.
9. WHERE A NEW PIPE CLEARS AN EXISTING OR NEW UTILITY BY 6" OR LESS, PLACE POLYETHYLENE PLASTIC FOAM AS A CUSHION BETWEEN THE UTILITIES.
10. ADJUST ALL NEW AND EX UTILITY CASTINGS TO FINAL FINISHED GRADE PRIOR TO FINAL PAVING/PLANTING.
11. TAKE THE NECESSARY PRECAUTIONS DURING TRENCH EXCAVATION TO PROTECT EXISTING UTILITIES FROM DAMAGE AND SETTLEMENT.
12. PROVIDE 2.5' MIN COVER OVER ALL WATER LINES, UNLESS NOTED OTHERWISE.
13. PROVIDE HERRINGBONE GRATES ON ALL CBs UNLESS NOTED OTHERWISE.

REVISION	DATE	DESCRIPTION

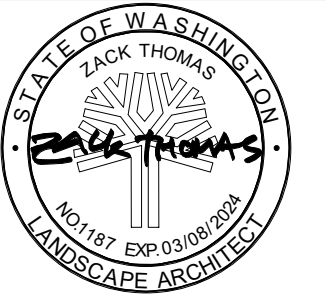
ISSUANCES	
DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

ORIGINAL SHEET SIZE IS 22"x34"	
BOARD & VELLUM PROJECT #:	2021054.00
JURISDICTION PROJECT #:	TBD

PLOT DATE:	08/31/2022
------------	------------

DRAINAGE PLAN

SHEET NO.:



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
 9103 S.E. 78TH BLVD. J
 MERGER ISLAND, WA 98040

OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
 ORIGINAL SHEET SIZE IS 24"X36"

BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22



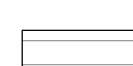
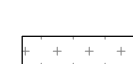


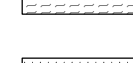
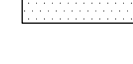
SOIL MANAGEMENT PLAN

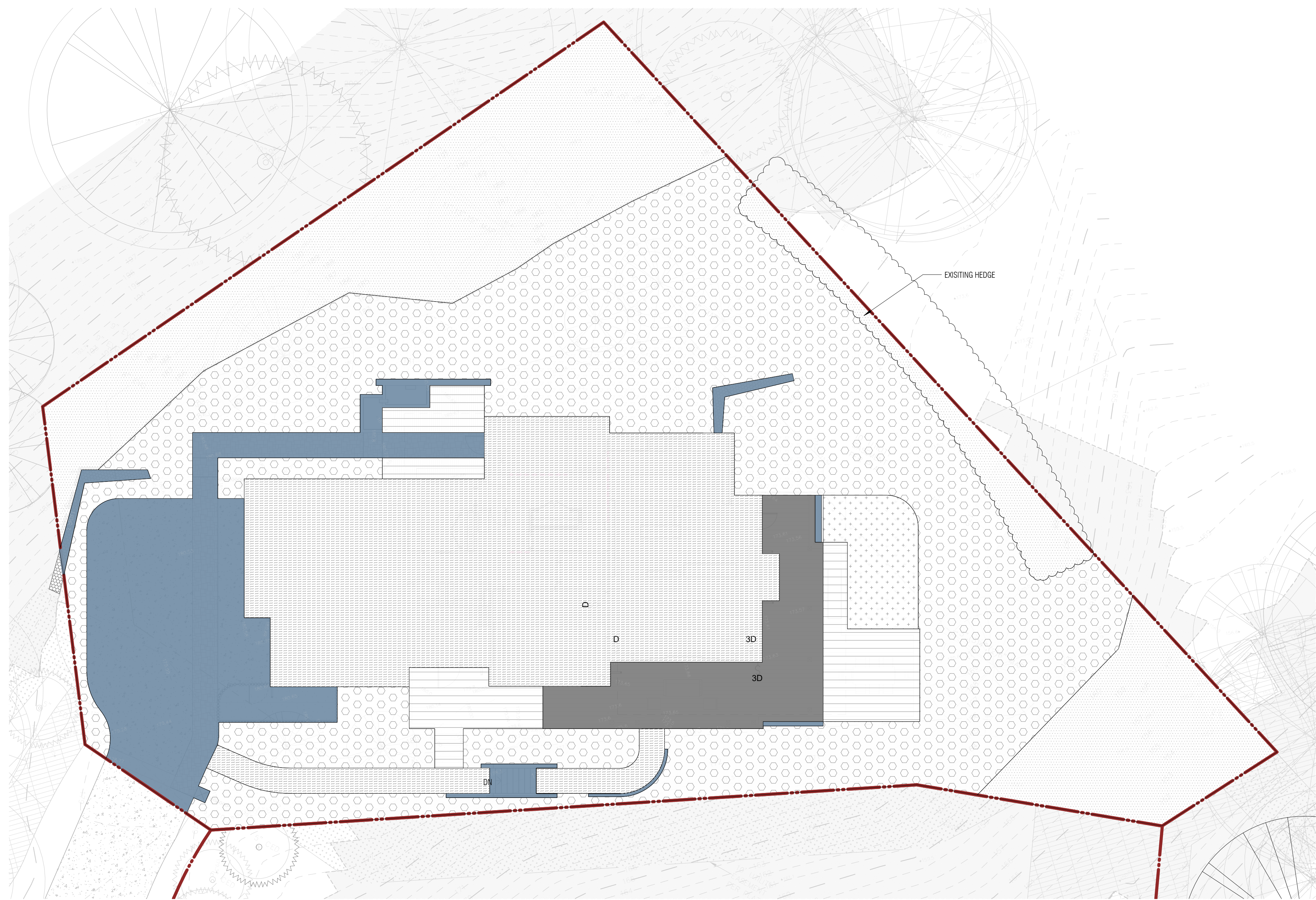
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C2.1

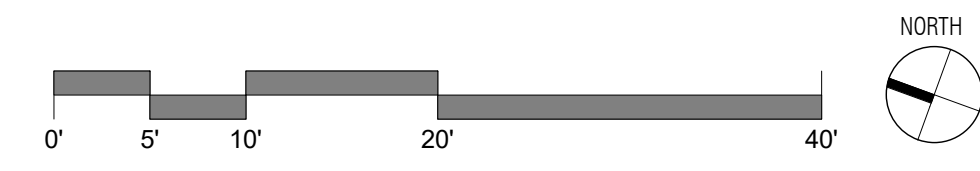
SOIL MANAGEMENT PLAN KEY

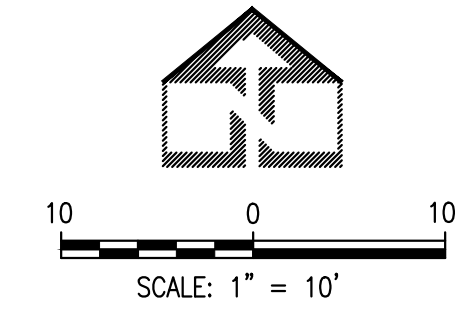
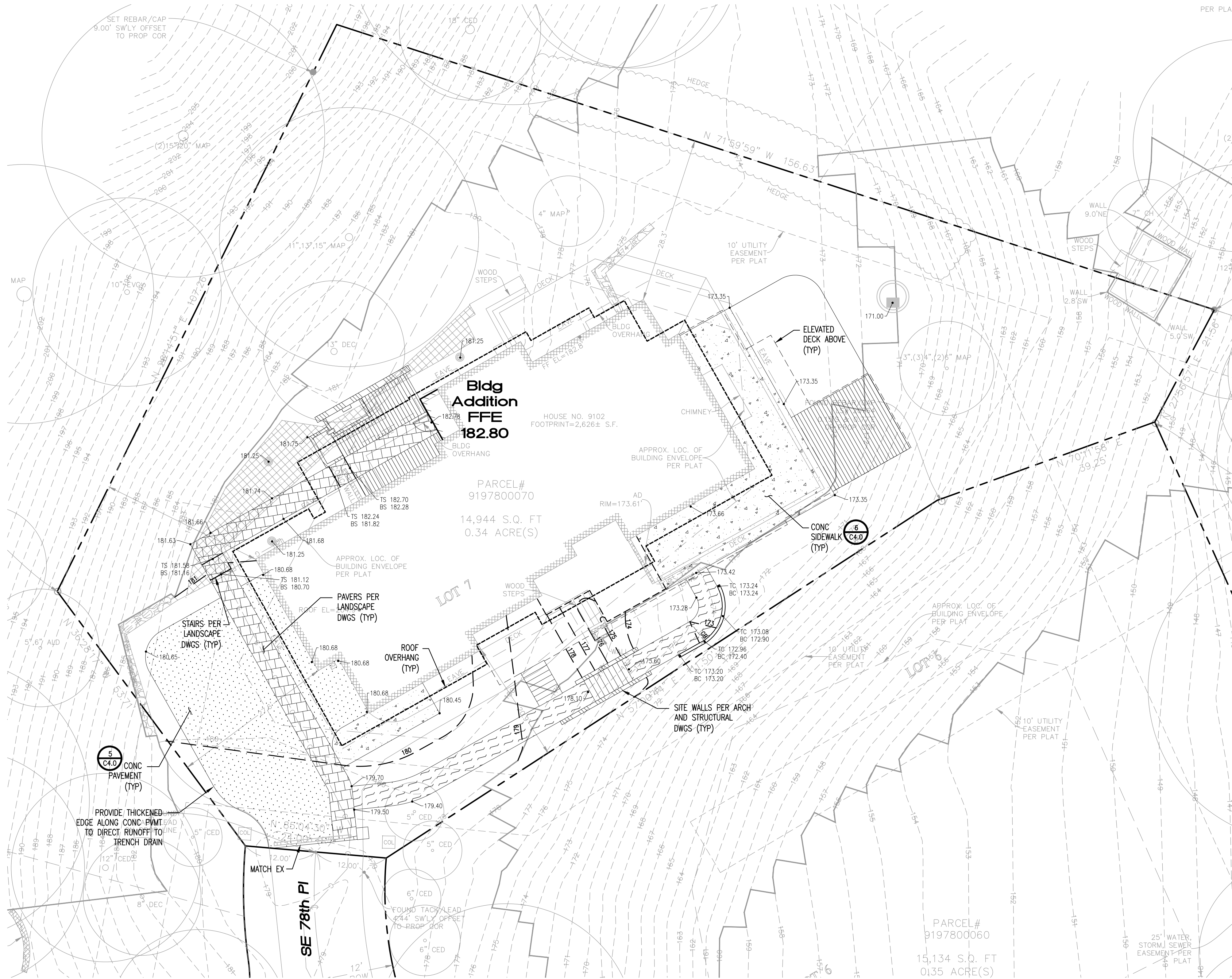
PARCEL AREA: 14,944 SF
 TOTAL DISTURBANCE AREA: 8,926 SF
 IMPERVIOUS/HARD SURFACE AREA: 1,570 SF
 DECK OVER IMPERVIOUS SURFACING: 635 SF
 DECK OVER PERVIOUS SURFACING: 627 SF
 TURF: 259 SF
 BARK MULCH: 275 SF
 SOIL MANAGEMENT PLAN RESTORATION AREA: 5,819 SF

-  SURFACE 1: HARD SURFACE
AREA: 1,570 SF
-  SURFACE 2: DECKING OVER IMPERVIOUS AREA
AREA: 635 SF
-  SURFACE 3: DECKING OVER PERVIOUS AREA
AREA: 627 SF
-  SURFACE 4: TURF, 6" IMPORTED TOPSOIL OVER 6" SCARIFIED SUBGRADE
AREA: 259 SF
-  SURFACE 5: PLANTING AREA, 6" IMPORTED TOPSOIL OVER 6" SCARIFIED SUBGRADE
AREA: 5,560 SF
-  SURFACE 6: BARK MULCH
AREA: 275 SF
-  SURFACE 7: UNDISTURBED AREAS
AREA: 3,232 SF
-  SURFACE 8: BUILDING - MAIN FLOOR FOOTPRINT
AREA: 2,786 SF



1 SITE PLAN - SOILS MANAGEMENT PLAN
 1" = 10'-0"





Datum

NAVD 88

Legend

- WOOD DECKING
- CONCRETE SIDEWALK
- CONCRETE DRIVEWAY PAVEMENT
- PAVERS PER LANDSCAPE DWGS
- WOOD MULCH PER LANDSCAPE DWGS
- RETAINING WALL
- FINISHED GRADE (FG) ELEVATION
- FG @ TOP OF WALL
FG @ BOTTOM OF WALL
- GRADE BREAK
- FINISHED GRADE CONTOUR

Notes

1. SEE SHEET BELOW FOR GENERAL NOTES.
2. PERFORM SUBGRADE PREPARATION IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
3. FINISHED GRADE INDICATED IS FINAL SURFACE ELEVATION FOLLOWING PLACEMENT OF ALL SURFACING MATERIALS.
4. GRADE ALL AREAS TO PROVIDE DRAINAGE AWAY FROM THE BUILDING.
5. SLOPE TOP OF WALL BETWEEN TW POINTS CALLED OUT ON THE DRAWINGS.
6. COORDINATE GRADING AROUND BUILDING WITH ARCHITECTURAL & LANDSCAPE DWGS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. COORDINATE AND VERIFY LAYOUT OF ALL NEW WALKWAYS WITH OWNER PRIOR TO SETTING FORMS OR PERFORMING ANY PREPARATION OR INSTALLATION WORK.
8. FINE GRADE AREAS TO DIRECT DRAINAGE TO DRAINAGE COLLECTION STRUCTURES.
9. ADJUST ALL NEW AND EX UTILITY CASTINGS TO FINAL FINISHED GRADE PRIOR TO FINAL PAVING/PLANTING.
10. RESTORE ALL UTILITY CUTS IN RIGHT OF WAY P/MT PER CITY OF MERCER ISLAND INSPECTOR. COORDINATE W/ INSPECTOR AS REQUIRED AND PAY ALL COSTS FOR RESTORATION.
11. THE SITE IS SUBJECT TO RESTRICTIONS ON GRADING AND CONSTRUCTION ACTIVITIES DURING THE WET SEASON. LAND DISTURBING ACTIVITIES ARE PROHIBITED FROM OCTOBER 1st TO APRIL 30th UNLESS A WET SEASON CONSTRUCTION REQUEST IS SUBMITTED, REVIEWED, AND A WET SEASON CONSTRUCTION APPROVAL LETTER IS GRANTED BY THE CITY OF MERCER ISLAND.

General Notes

1. ALL WORK SHALL CONFORM TO THE MERCER ISLAND STORMWATER DRAINAGE GUIDELINES AND THE 2014 DOE MANUAL.
2. A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. ERRORS AND OMISSIONS ON THE PERMITTED PLANS MUST BE CORRECTED BY THE ENGINEER AND APPROVED BY THE CITY OF MERCER ISLAND.
4. ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
5. PRIOR TO THE START OF CONSTRUCTION WITHIN THE RIGHT OF WAY, THE PERMITTEE SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY OF MERCER ISLAND.
6. PERMITTEE SHALL CONTACT MERCER ISLAND INSPECTOR A MINIMUM OF 2 BUSINESS DAYS PRIOR TO NEEDING AN INSPECTION.
7. ALL DAMAGE TO CITY INFRASTRUCTURE CAUSED BY THE CONSTRUCTION SHALL BE REPAIRED AS REQUIRED BY THE CITY OF MERCER ISLAND.
8. LIMITS OF PAVEMENT RESTORATION IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED IN THE FIELD BY THE CITY OF MERCER ISLAND STREET USE INSPECTOR PRIOR TO THE PAVEMENT RESTORATION.
9. SURVEYING AND STAKING OF ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
10. IF AN EXISTING CURB IS TO BE REMOVED AND REPLACED IN THE SAME LOCATION, THE PERMITTEE SHALL PROVIDE THE STREET USE INSPECTOR A PLAN WITH EXISTING FLOW LINE AND TOP OF CURB ELEVATIONS IDENTIFIED. PERMITTEE TO STAKE THE LOCATION OF THE EXISTING CURB PRIOR TO DEMOLITION.
11. THE PERMITTEE SHALL BE RESPONSIBLE FOR REFERENCING AND REPLACING ALL MONUMENTS THAT MAY BE DISTURBED, DESTROYED OR REMOVED BY THE PROJECT AND SHALL FILE AN APPLICATION FOR PERMIT TO REMOVE OR DESTROY A SURVEY MONUMENT WITH THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, PURSUANT TO RCW 58.24.040(8).
12. THE PERMITTEE SHALL NOTIFY THE FIRE DEPARTMENT DISPATCHER AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE PERMITTEE SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW, RELOCATED, OR ELIMINATED HYDRANTS RESULTING FROM THIS WORK.
13. THE PERMITTEE SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION.
14. THE PERMITTEE SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (1-800-424-5555 OR 811) AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
15. IT IS THE SOLE RESPONSIBILITY OF THE PERMITTEE TO VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
16. THE PERMITTEE SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISHED GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.
17. UTILITY SERVICE CONNECTIONS SHOWN ON THIS PLAN REQUIRE SEPARATE PERMITS AND ARE TO BE MAINTAINED PRIVATELY.
18. THE PERMITTEE SHALL PROVIDE FOR ALL TESTING AS REQUIRED BY THE MERCER ISLAND STREET USE INSPECTOR.
19. BACKFILL MATERIAL USED IN PUBLIC RIGHT-OF-WAY SHALL MEET STANDARD SPECIFICATIONS AND SHALL BE APPROVED BY CITY OF MERCER ISLAND.
20. INSPECTION AND ACCEPTANCE OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY REPRESENTATIVES OF THE CITY OF MERCER ISLAND. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS ALLOWING FOR PROPER ADVANCE NOTICE. THE INSPECTOR MAY REQUIRE REMOVAL AND RECONSTRUCTION OF ANY ITEMS PLACED IN THE RIGHT OF WAY THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT APPROPRIATE INSPECTIONS.
21. THE PERMITTEE SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION CONTROL AND SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL OR PUBLIC DRAINAGE SYSTEM. AS CONSTRUCTION PROGRESSES AND UNEXPECTED (SEASONAL) CONDITIONS DICTATE, ADDITIONAL CONTROL FACILITIES MAY BE REQUIRED. DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THE PERMITTEE'S ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
22. THE PERMITTEE SHALL KEEP ALL PAVED SURFACES IN THE RIGHT OF WAY CLEAN BY SWEEPING.
23. AN APPROVED TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ALL PUBLIC STREETS PRIOR TO BEGINNING CONSTRUCTION.

Board & Vellum
 115 15th Avenue East, Suite 100
 Seattle, Washington 98112
 +1 206 707 8905
 info@boardandvellum.com
 boardandvellum.com
 Architecture, Interiors, Site Design.

STATION 10 ENGINEERING
Civil Site Design
 PO Box 171
 Edmonds, WA 98020
 206.419.0873



LEUNG RESIDENCE

PROJECT ADDRESS:
 8100 S.E. 78th PL ACE
 MERCER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

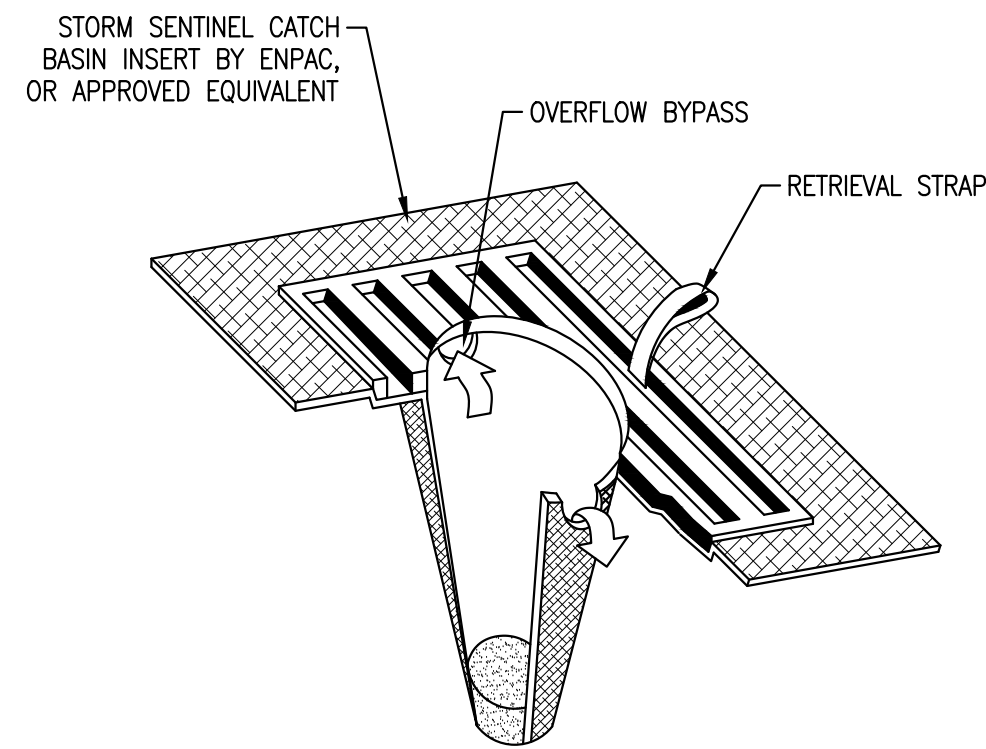
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 BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 08/31/2022

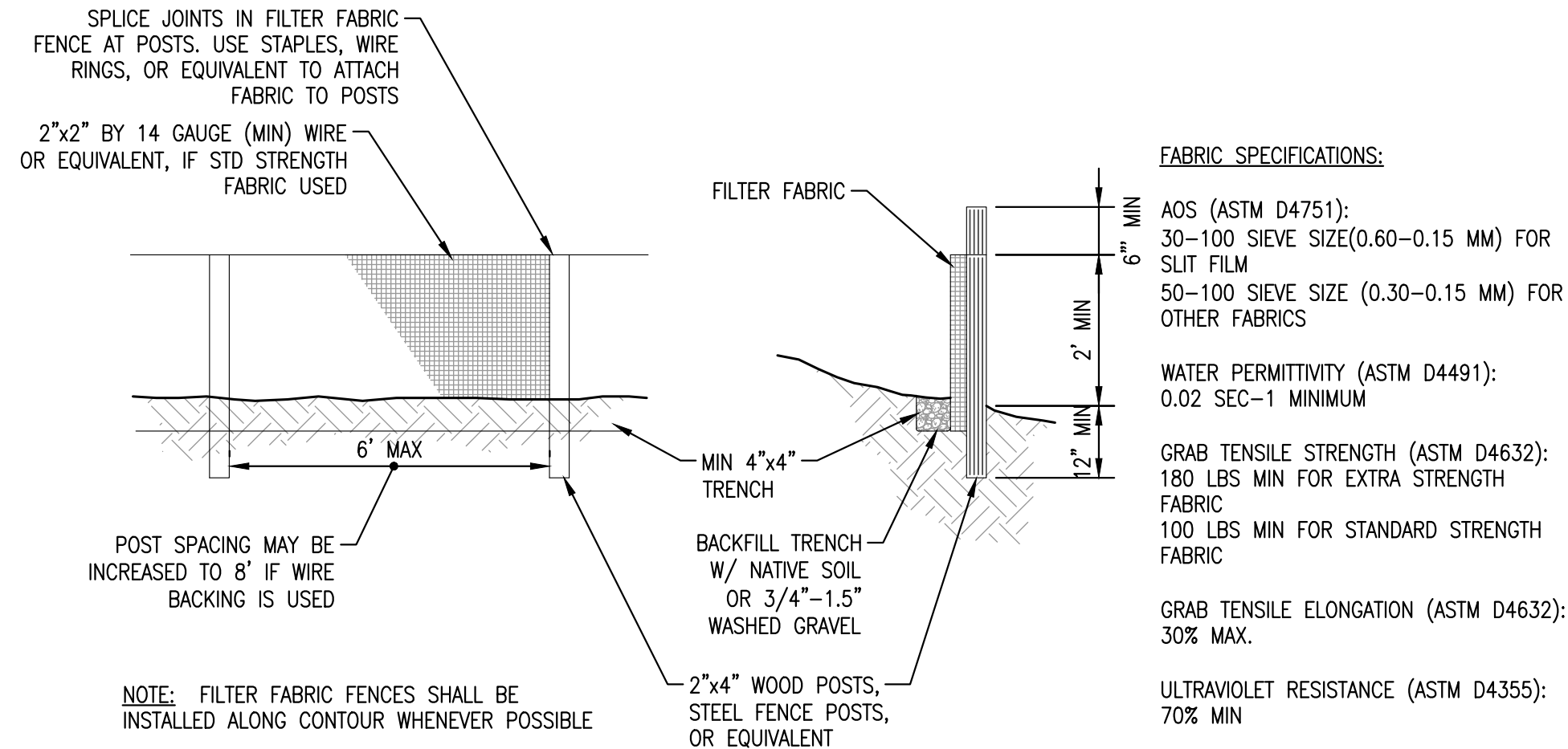
GRADING AND PAVING PLAN

SHEET NO.:

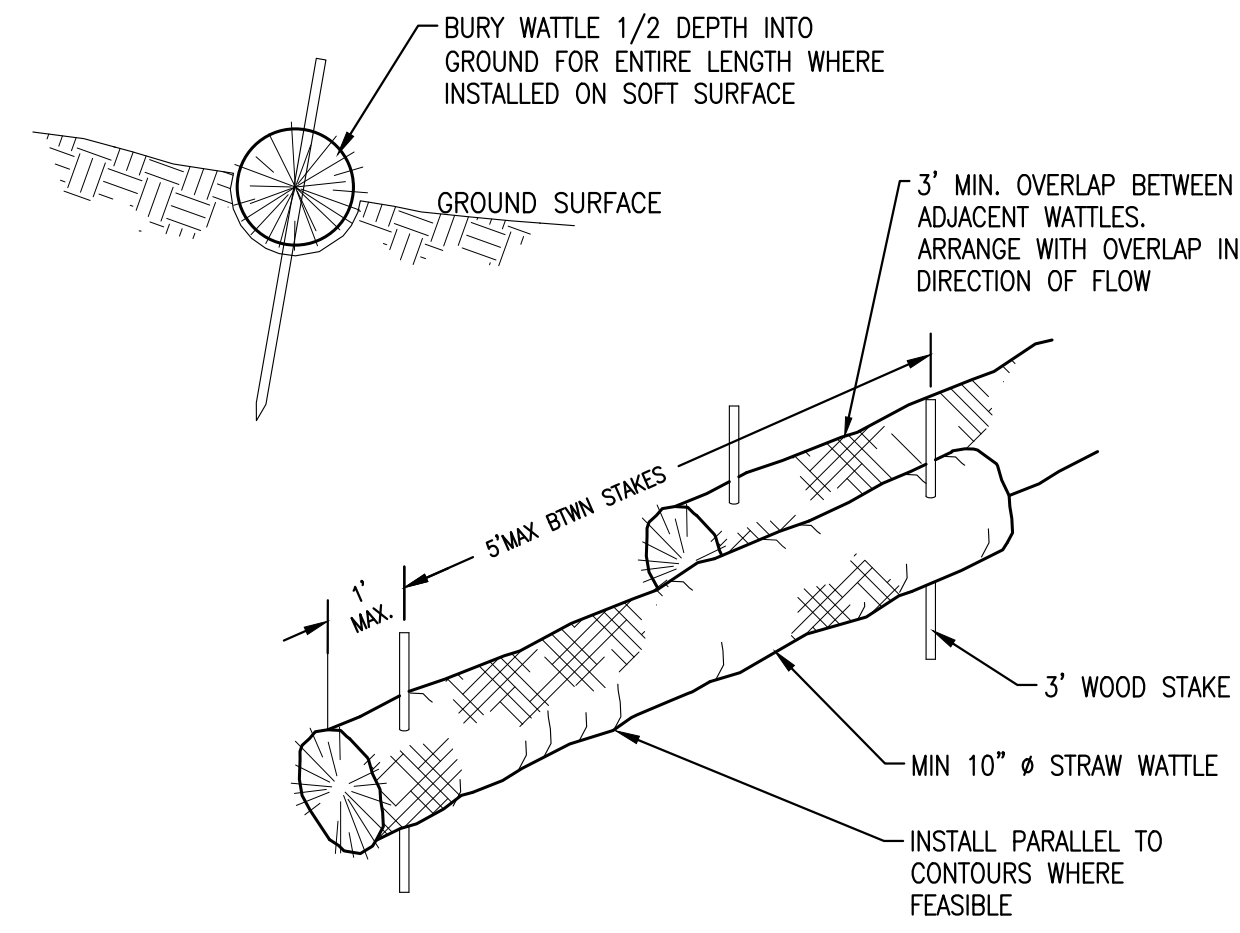
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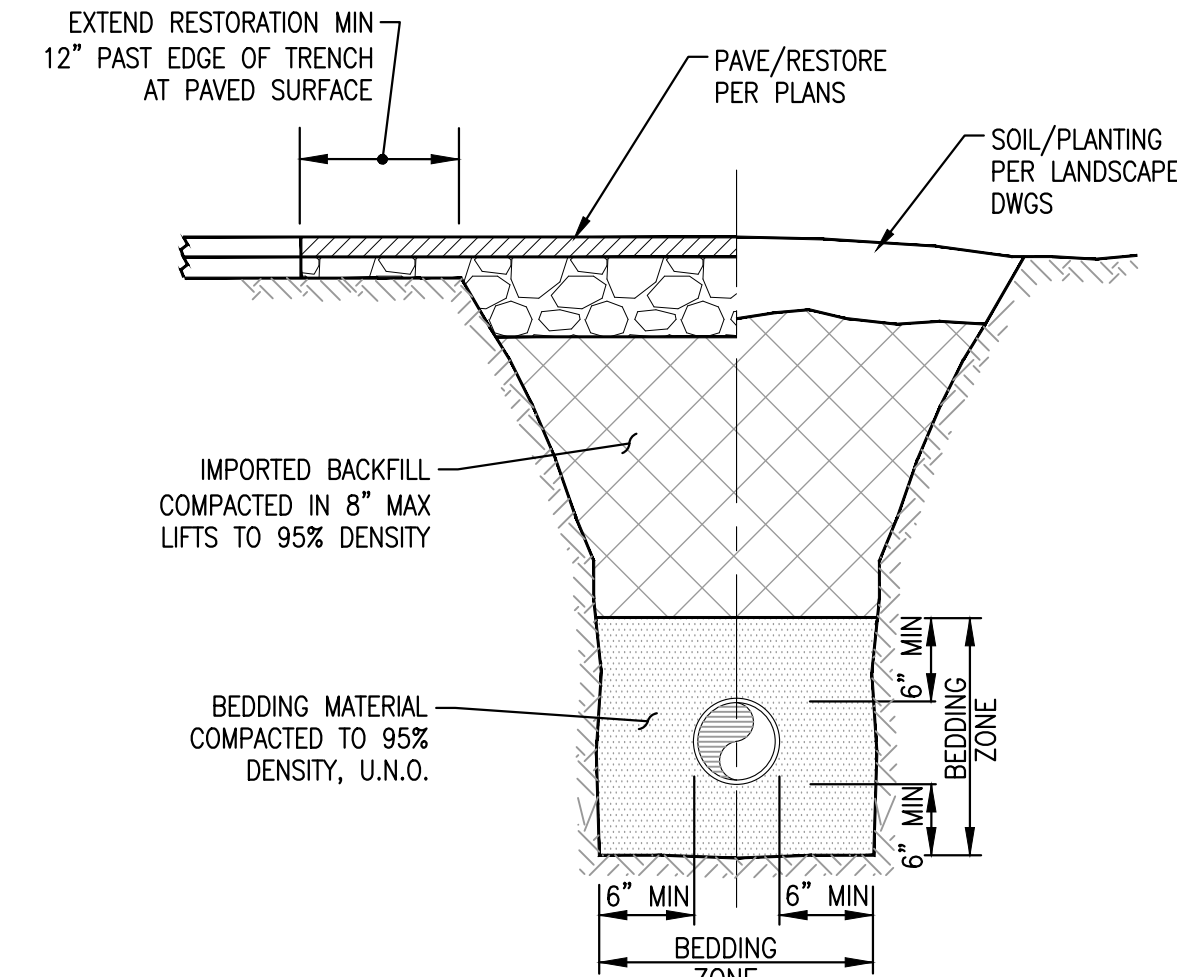
1 C4.0 NTS
CB Inlet Protection



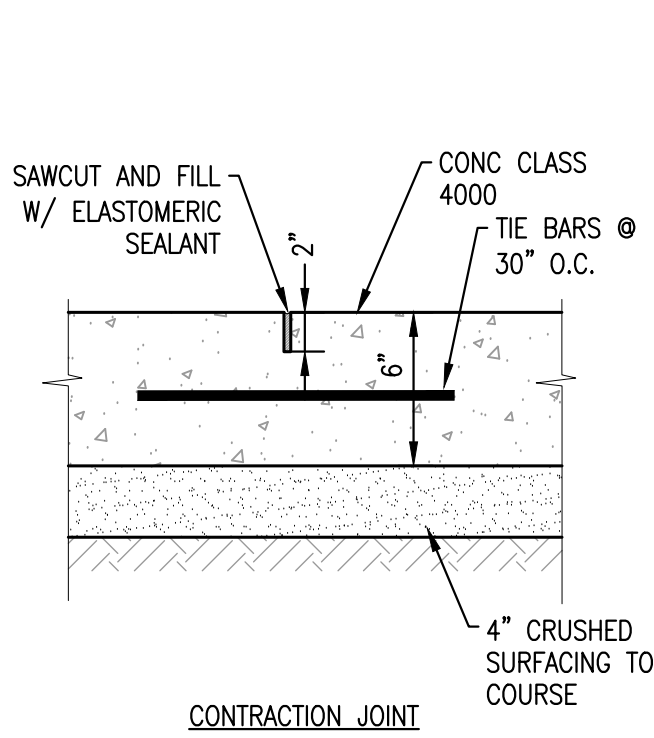
2 C4.0 NTS
Filter Fabric Fence



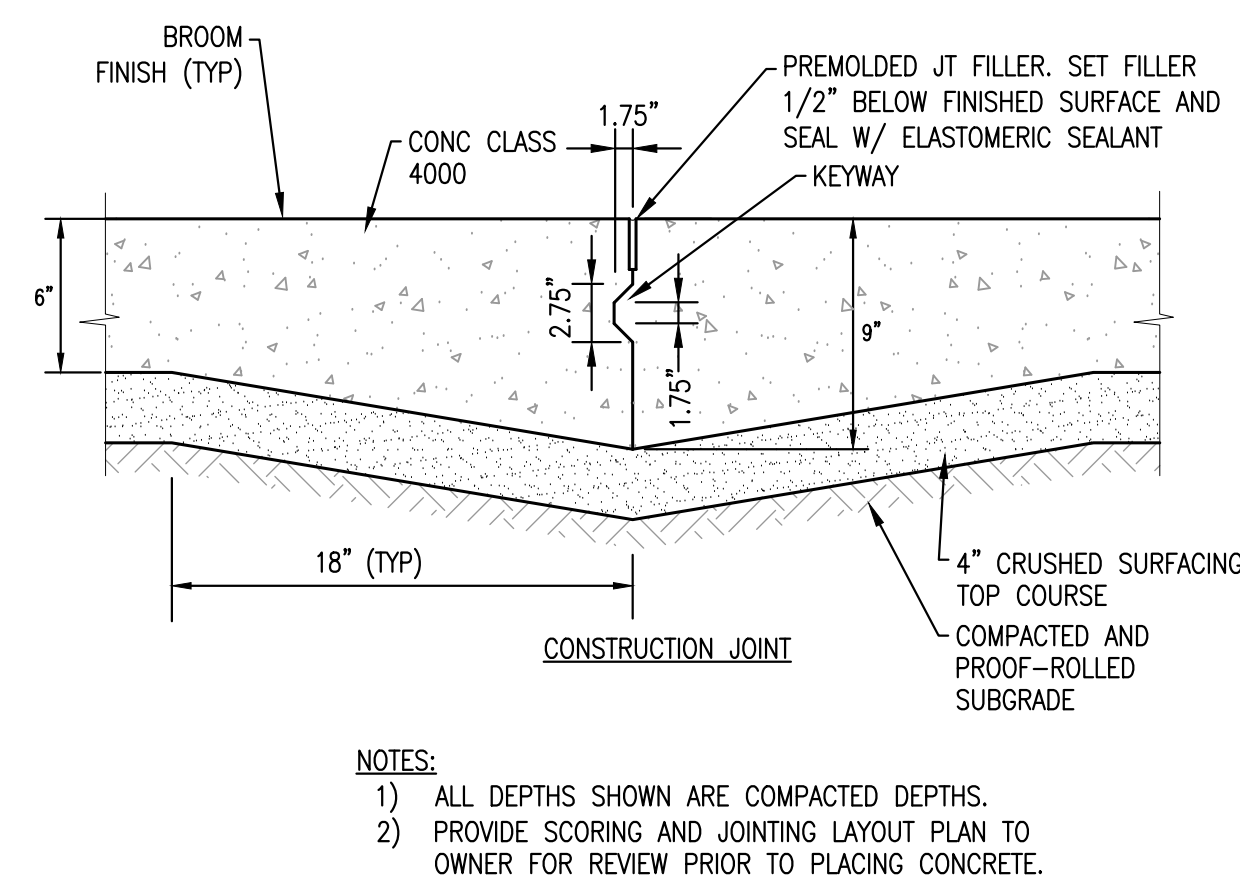
3 C4.0 NTS
Straw Wattle



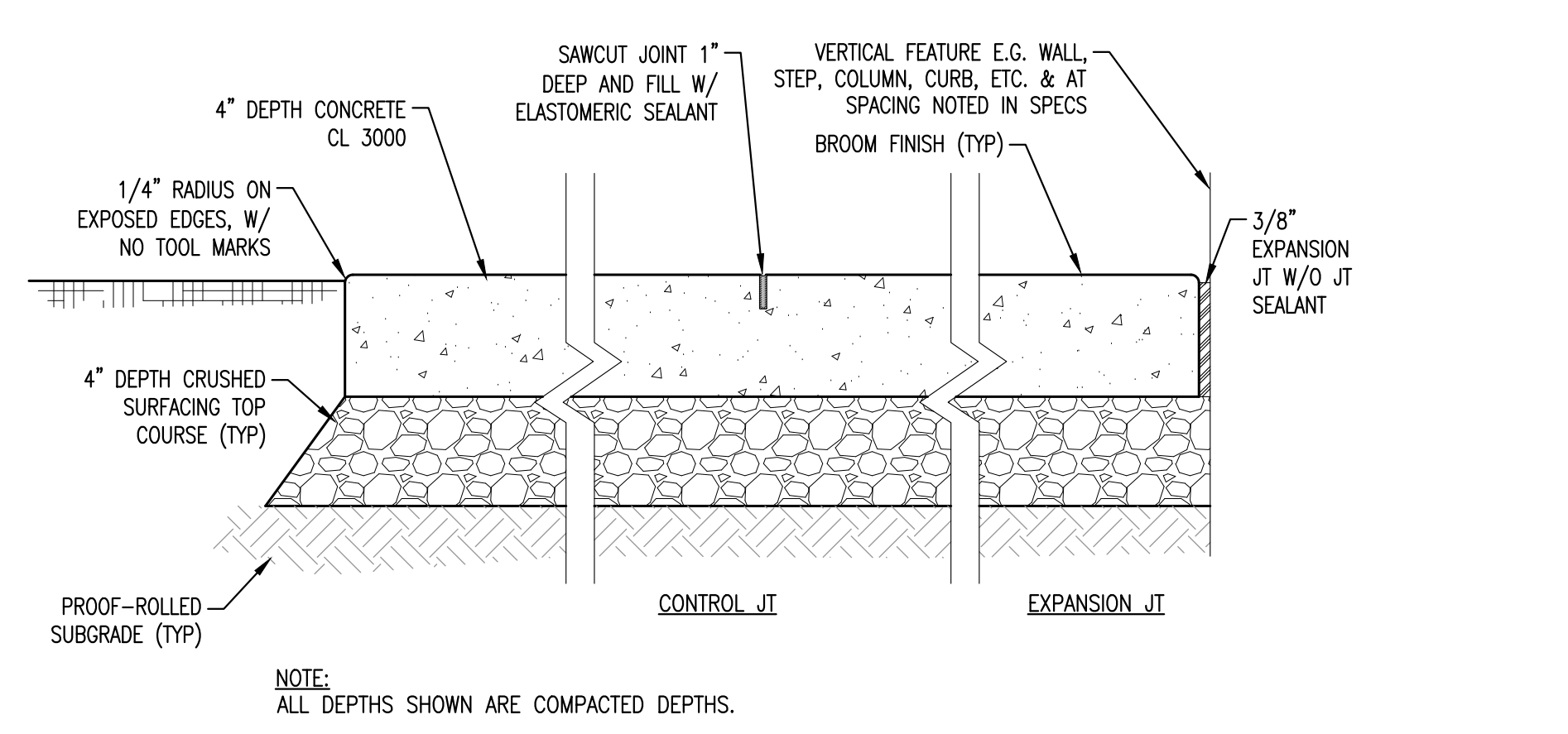
4 C4.0 NTS
Utility Trench Section



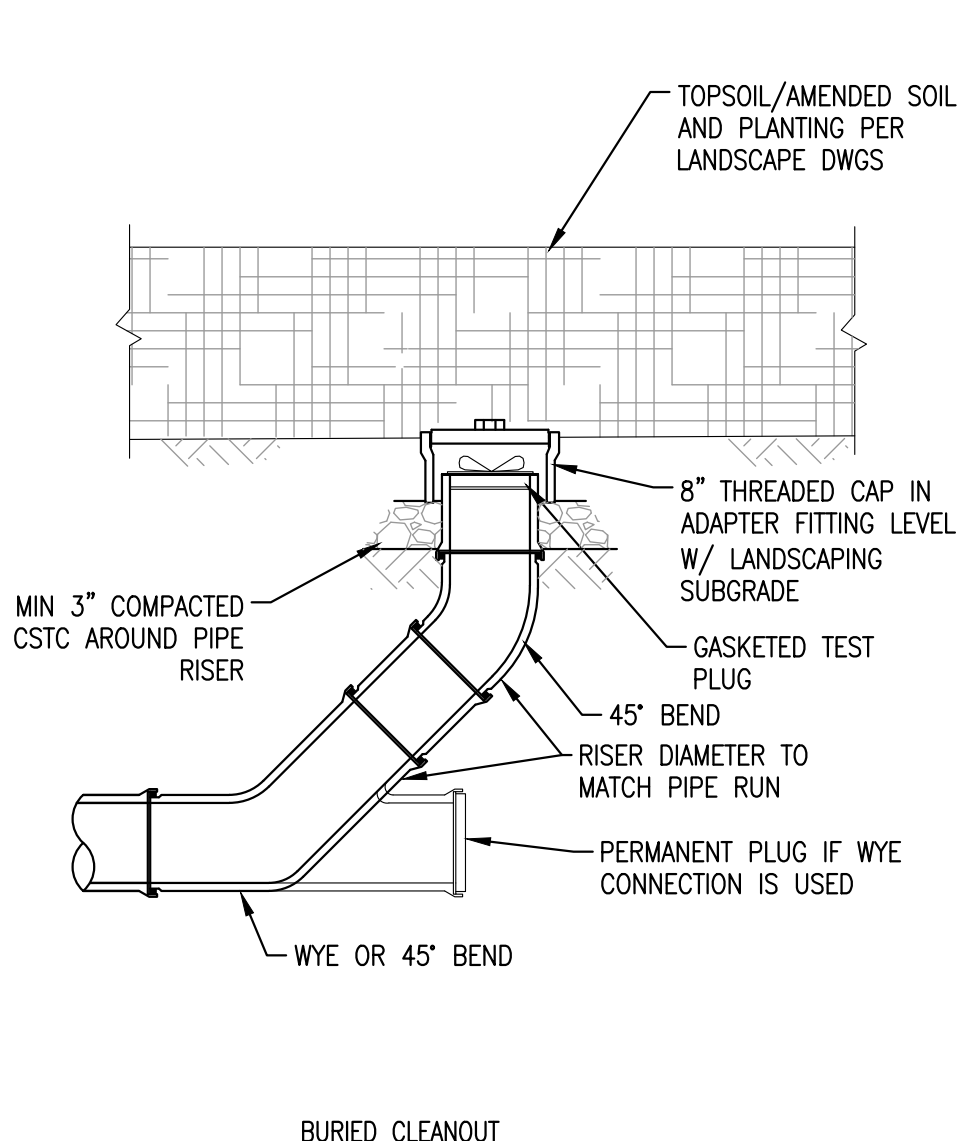
5 C4.0 NTS
Concrete Pavement



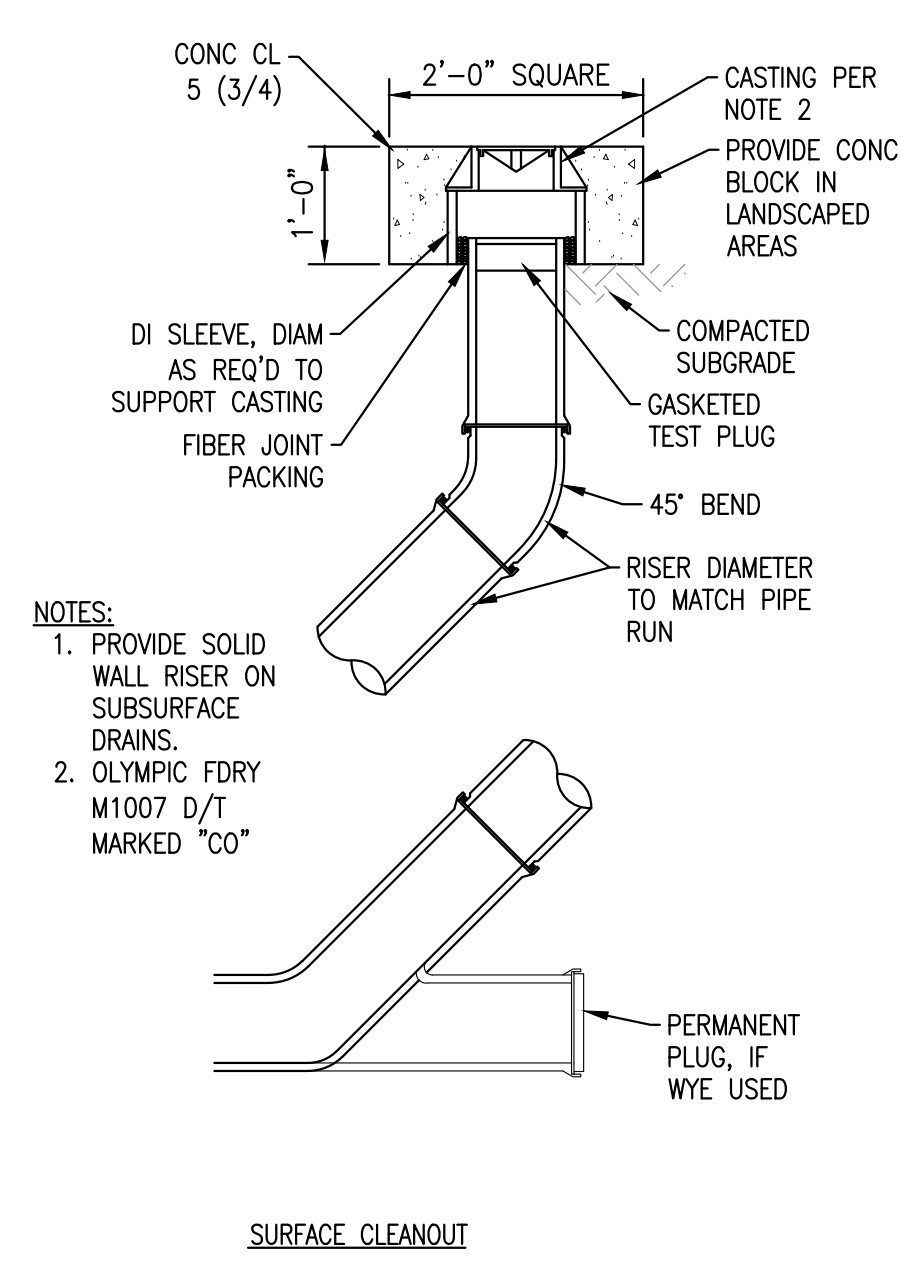
6 C4.0 NTS
Concrete Sidewalk



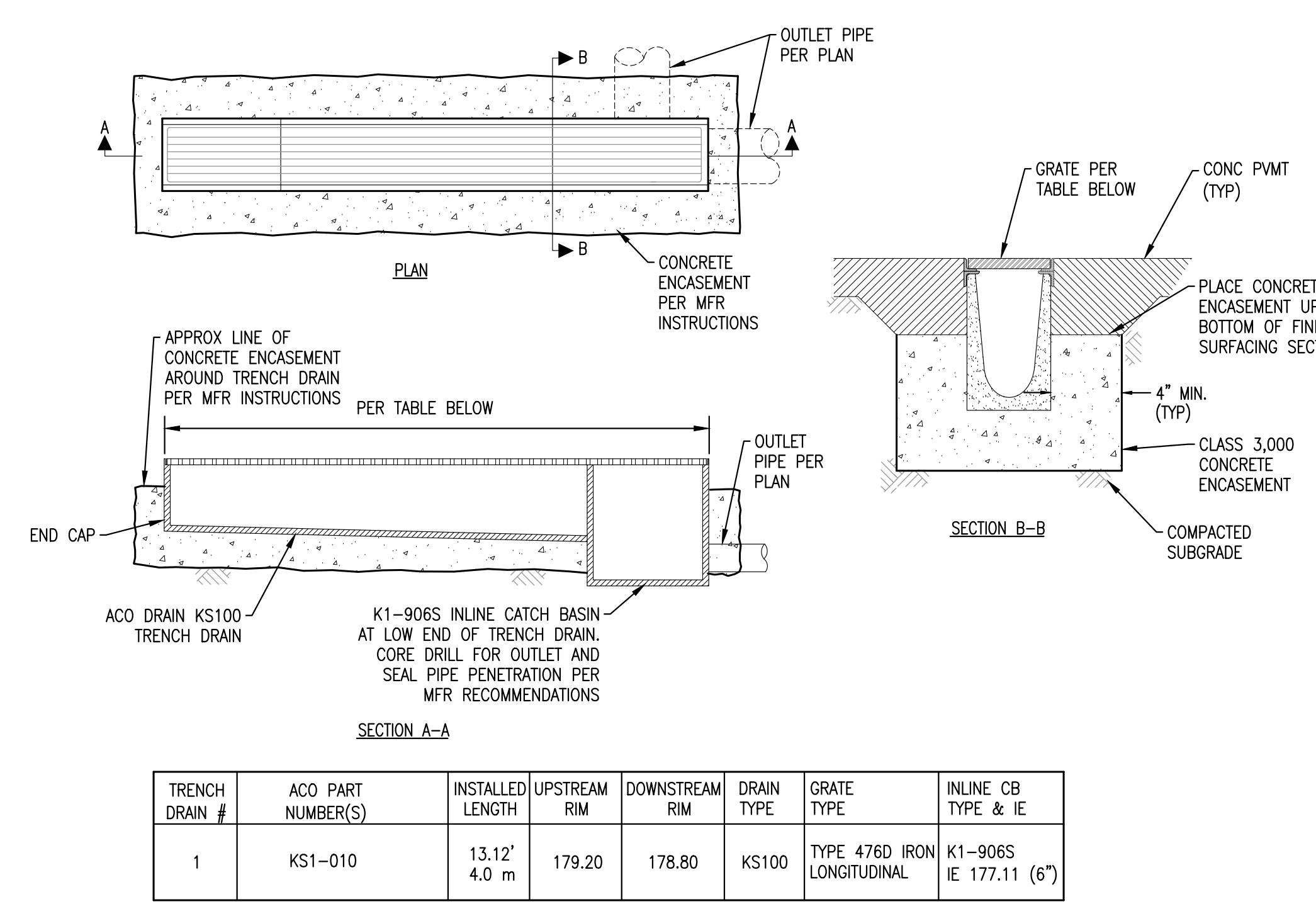
7 C4.0 NTS
Area Drain



8 C4.0 NTS
Cleanout



9 C4.0 NTS
Trench Drain



10 C4.0 NTS
Footing Drain

TRENCH DRAIN #	ACO PART NUMBER(S)	INSTALLED LENGTH	UPSTREAM RIM	DOWNSTREAM RIM	DRAIN TYPE	GRATE TYPE	INLINE CB TYPE & IE
1	KS1-010	13.12' 4.0 m	179.20	178.80	KS100	TYPE 476D IRON LONGITUDINAL	K1-906S IE 177.11 (6")

REVISION	DATE	DESCRIPTION

ISSUANCES
DATE DESCRIPTION
2022.08.31 BUILDING PERMIT SUBMITTAL

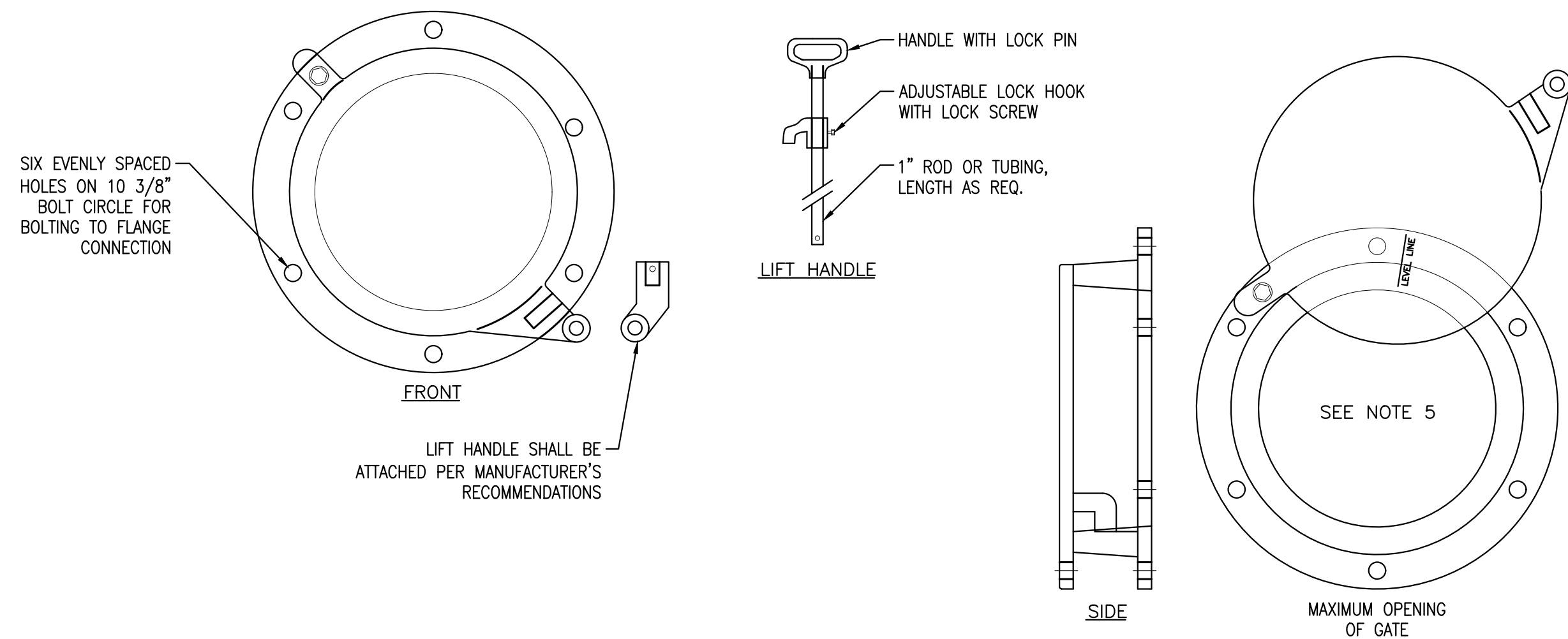
ORIGINAL SHEET SIZE IS 22"x34"	
BOARD & VELLUM PROJECT #:	2021054.00
JURISDICTION PROJECT #:	TBD

PLOT DATE:	08/31/2022
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SITE DETAILS

SHEET NO.:

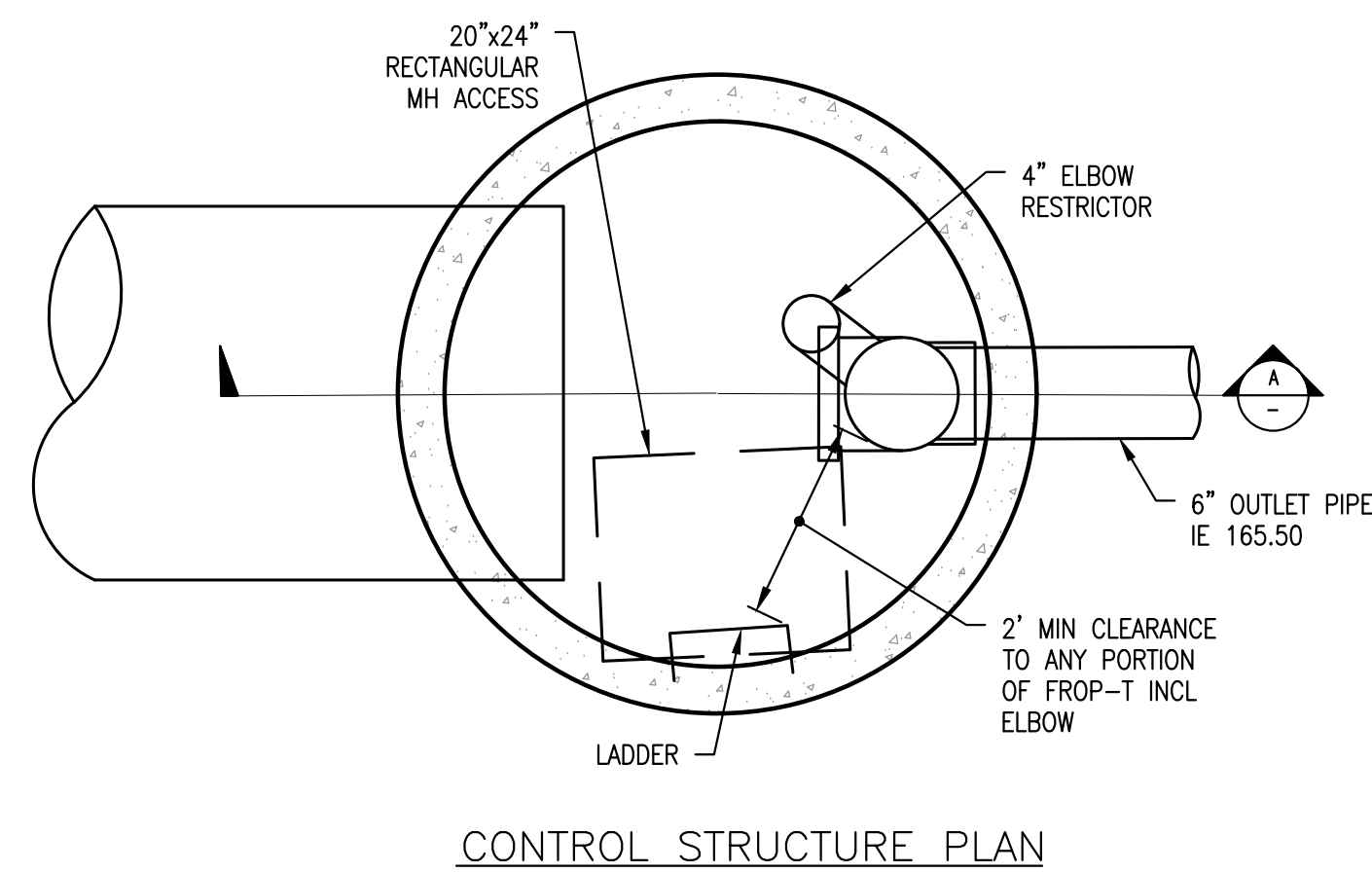
File: C:\Users\valeriatoback\OneDrive - Station 10 Engineering - PLU\Projects\21\210228 Leung - MFR\PLANS\LEUNG-BET.dwg ID: steeltrchbacker Date: 24-Aug-22 3:33:15pm



SHEAR GATE NOTES:

1. SHEAR GATE SHALL BE ALUMINUM ALLOY PER ASTM B-26-ZG-32a OR CAST IRON ASTM A48 CLASS 30B AS REQUIRED.
2. GATE SHALL BE 8" DIAM. UNLESS OTHERWISE SPECIFIED.
3. GATE SHALL BE JOINED TO TEE SECTION BY BOLTING (THROUGH FLANGE), WELDING, OR OTHER SECURE MEANS.
4. LIFT ROD: AS SPECIFIED BY MFR. WITH HANDLE EXTENDING TO WITHIN ONE FOOT OF COVER AND ADJUSTABLE HOOK LOCK FASTENED TO FRAME OR UPPER HANDHOLD.
5. GATE SHALL NOT OPEN BEYOND THE CLEAR OPENING BY LIMITED HINGE MOVEMENT, STOP TAB, OR SOME OTHER DEVICE.
6. NEOPRENE RUBBER GASKET REQUIRED BETWEEN RISER MOUNTING FLANGE AND GATE FLANGE.
7. MATING SURFACES OF LID AND BODY TO BE MACHINED FOR PROPER FIT.
8. FLANGE MOUNTING BOLTS SHALL BE 3/8" DIAM. STAINLESS STEEL.
9. ALTERNATE CLEANOUT/SHEAR GATES TO THE DESIGN SHOWN ARE ACCEPTABLE, PROVIDED THEY MEET THE MATERIAL SPECIFICATIONS ABOVE AND HAVE A SIX BOLT, 10 3/8" BOLT CIRCLE FOR BOLTING TO THE FLANGE CONNECTION.

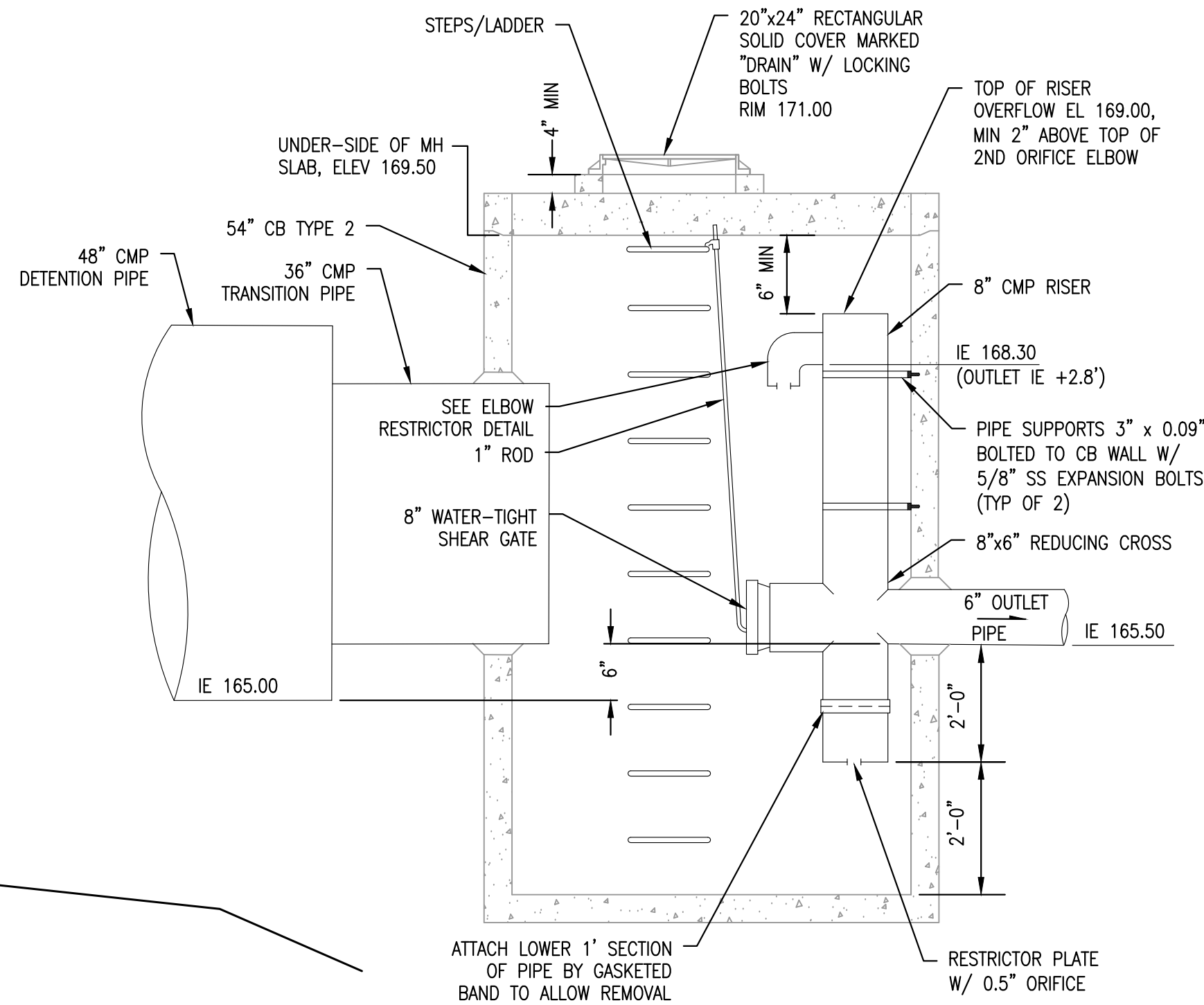
SHEAR GATE
NTS



CONTROL STRUCTURE PLAN

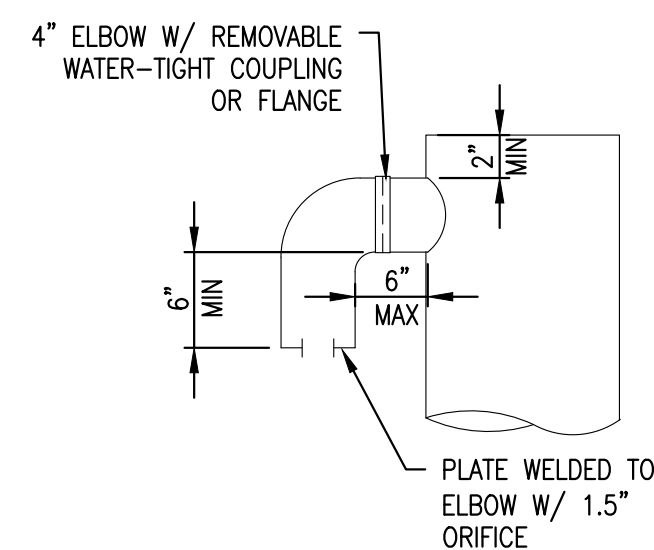
CONTROL STRUCTURE NOTES:

1. USE A MINIMUM OF A 54" DIAMETER TYPE 2 CATCH BASIN.
2. OUTLET CAPACITY: 100-YEAR DEVELOPED PEAK FLOW.
3. METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
4. FRAME AND LADDER OR STEPS OFFSET SO:
 - A. CLEANOUT GATE IS VISIBLE FROM TOP.
 - B. CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - C. FRAME IS CLEAR OF CURB.
5. IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE: OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4".
6. PROVIDE AT LEAST ONE 3" X .090" SUPPORT BRACKET ANCHORED TO CONCRETE WALL. (MAXIMUM 3'-0" VERTICAL SPACING)
7. LOCATE ELBOW RESTRICTOR(S) AS NECESSARY TO PROVIDE MINIMUM CLEARANCE AS SHOWN.
8. LOCATE ADDITIONAL LADDER RUNGS IN STRUCTURES USED AS ACCESS TO TANKS OR VAULTS TO ALLOW ACCESS WHEN CATCH BASIN IS FILLED WITH WATER.
9. FLOW RESTRICTOR SHALL BE FABRICATED FROM 0.060" CORRUGATED ALUMINUM OR 0.064" CORRUGATED ALUMINIZED STEEL, IN ACCORDANCE W/ AASHTO M36, M196, M197, AND M274.

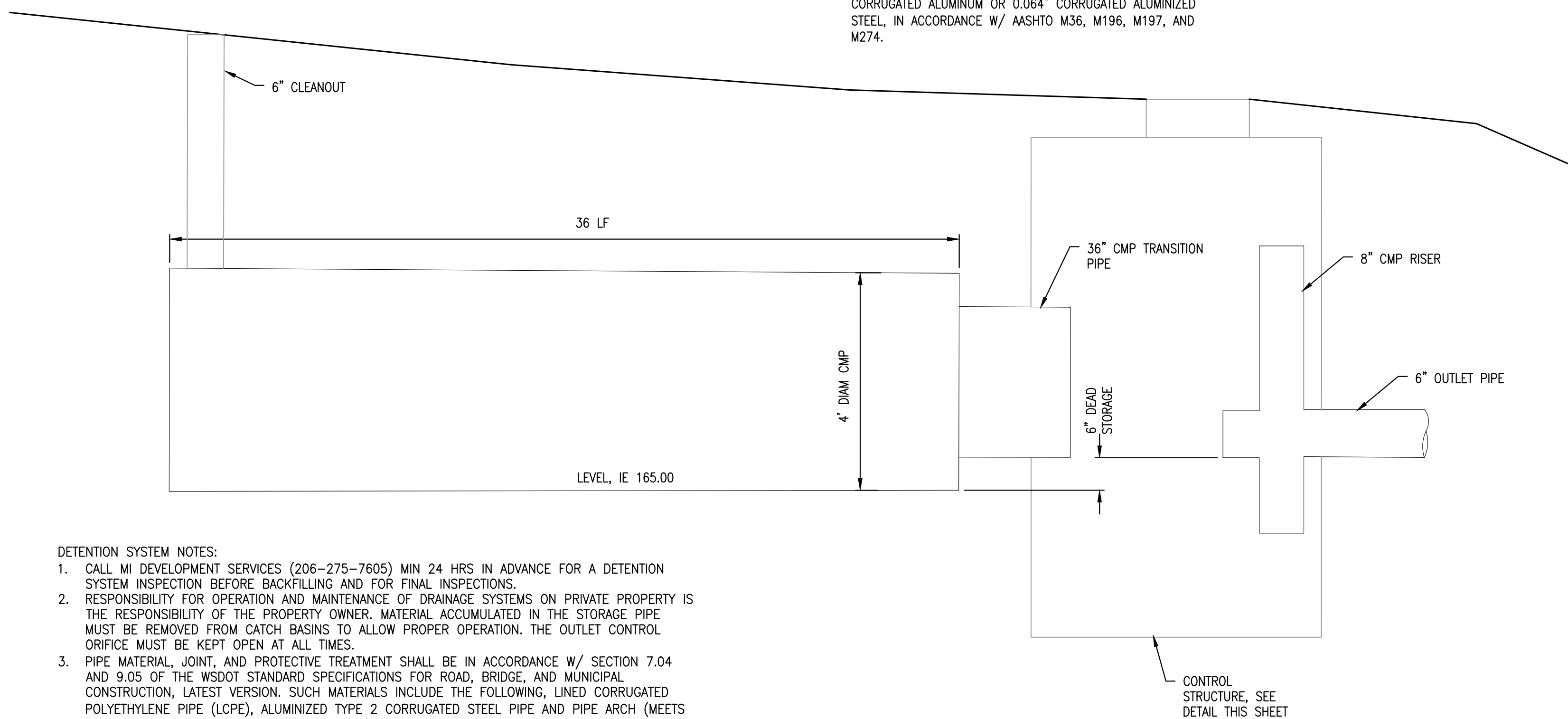


CONTROL STRUCTURE SECTION A

NOTE:
ALL METAL PARTS CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PARTS TO HAVE ASPHALT COATED TREATMENT 1 OR BETTER



ELBOW RESTRICTOR DETAIL



DETENTION SYSTEM NOTES:

1. CALL MI DEVELOPMENT SERVICES (206-275-7605) MIN 24 HRS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
2. RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
3. PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE W/ SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING, LINED CORRUGATED POLYETHYLENE PIPE (LCPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
4. FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

DETENTION SYSTEM
NTS

REVISION	DATE	DESCRIPTION

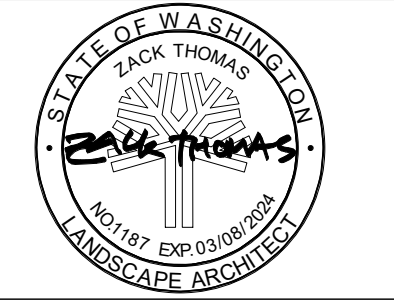
ISSUANCES	DATE	DESCRIPTION
	2022.08.31	BUILDING PERMIT SUBMITTAL

ORIGINAL SHEET SIZE IS 22"x34"	
BOARD & VELLUM PROJECT #:	2021054.00
JURISDICTION PROJECT #:	TBD

PLOT DATE:	08/31/2022
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SITE DETAILS

SHEET NO.:



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
 9102 S.E. 78TH PLACE, I
 MERCER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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2022.08.31 BUILDING PERMIT SUBMITTAL

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 ORIGINAL SHEET SIZE IS 24"X36"

BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

BUILDING PERMIT - SITE PLAN - DEMOLITION

SHEET NO.:

L1.01

SITE DEMO PLAN KEY

- UTILITY EASEMENT
- X-X-X- TREE PROTECTION FENCING PER DETAIL 2/THIS SHEET
- STEEP SLOPE
- EXISTING PAVING AND ASPHALT TO BE REMOVED
- EXISTING DECK AND DECK STAIRS TO BE REMOVED
- EXISTING DECK MEMBERS TO BE REPLACED
- PROPERTY LINE
- SETBACK
- EXISTING TREE TO BE RETAINED PROTECT IN PLACE
- EXISTING TREE TO BE RETAINED PROTECT IN PLACE
- X LARGE (REGULATED) TREE TO BE REMOVED 10" CALIPER OR LARGER
- X SMALL TREE TO BE REMOVED LESS THAN 10" CALIPER

TREE INVENTORY AND TREE REMOVAL CALCULATIONS

PROVIDED AS A PART OF ARBORIST REPORT FROM THOMAS QUIGLEY DATED 07/25/2022.
 ATTACHED ARBORIST REPORT AS A PART OF SUBMITTAL PACKAGE FOR ADDITIONAL INFORMATION.
 Kevin Leung Residence
 9102 SE 78th Place, Mercer Island, WA
 February 2022 -Revised July 14, 2022
 Thomas Quigley
 ISA certified arborist PN655A, TRAQ

Tree #	Species	DBH"	Drip-line Radius'	Cndtn	Comments	Status	Remove	Retain
1	Pseudotsuga menziesii, Douglas fir	8.0	15'	Good	Tree #1, #2, #3 are growing as a tight clump with shared canopy	Non-regulated	X	
2	Pseudotsuga menziesii, Douglas fir	8.8	10'	Good	Tree #1, #2, #3 are growing as a tight clump with shared canopy	Non-regulated	X	
3	Pseudotsuga menziesii, Douglas fir	11.5	12'	Good	Tree #1, #2, #3 are growing as a tight clump with shared canopy	Regulated	X	
4	Prunus lusitana, Portuguese laurel	N/A	8'	Good	Laurel not considered a tree, per local understanding and definition.	Not a Tree	X	
5	Acer macrophyllum, Big leaf maple	22.8*	12'	Good	To be retained with protection	Regulated		X
6	Acer circinatum, Vine maple	5.6*	7'	Excellent	Growing near deck. Smaller caliper than regulated threshold.	Non-regulated		X
7	Acer macrophyllum, Big leaf maple	12.3*	11'	Good	Six-stems, growing at crest of slope.	Regulated		X
8	Thuja plicata, 'Excelsa', Excelsa cedar	5.6	8	Good	Not regulated, but on site plan. To be removed	Non-regulated	X	

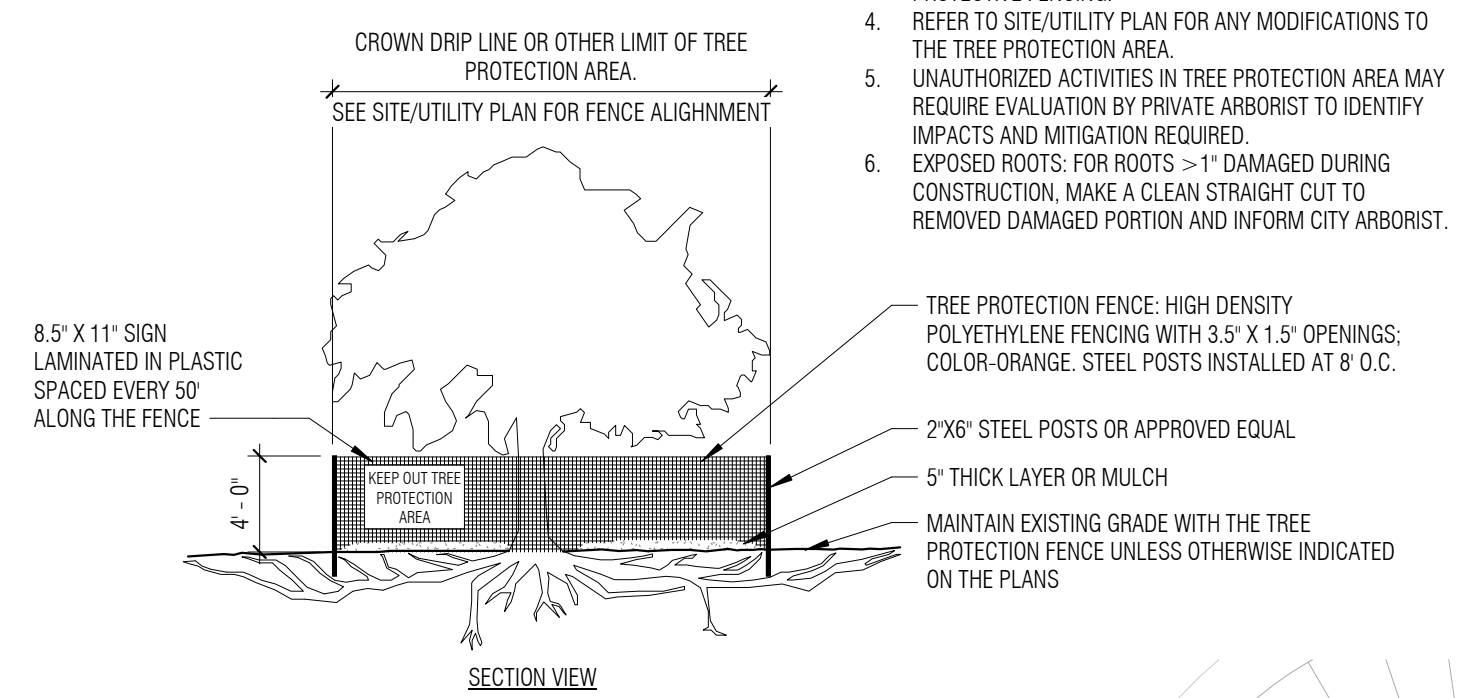
* Multi-stemmed trees, DBH equals the square root of the total of each stem's diameter squared.

TREE REMOVAL CALCULATION PER 31CC 19.09.09(A)(1)
 REGULATED TREES ON-SITE : 3
 REGULATED TREES TO BE REMOVED : 1
 REQUIRED PERCENTAGE OF RETAINED REGULATED TREES : 30%
 PROVIDED PERCENTAGE OF RETAINED REGULATED TREES : 66%

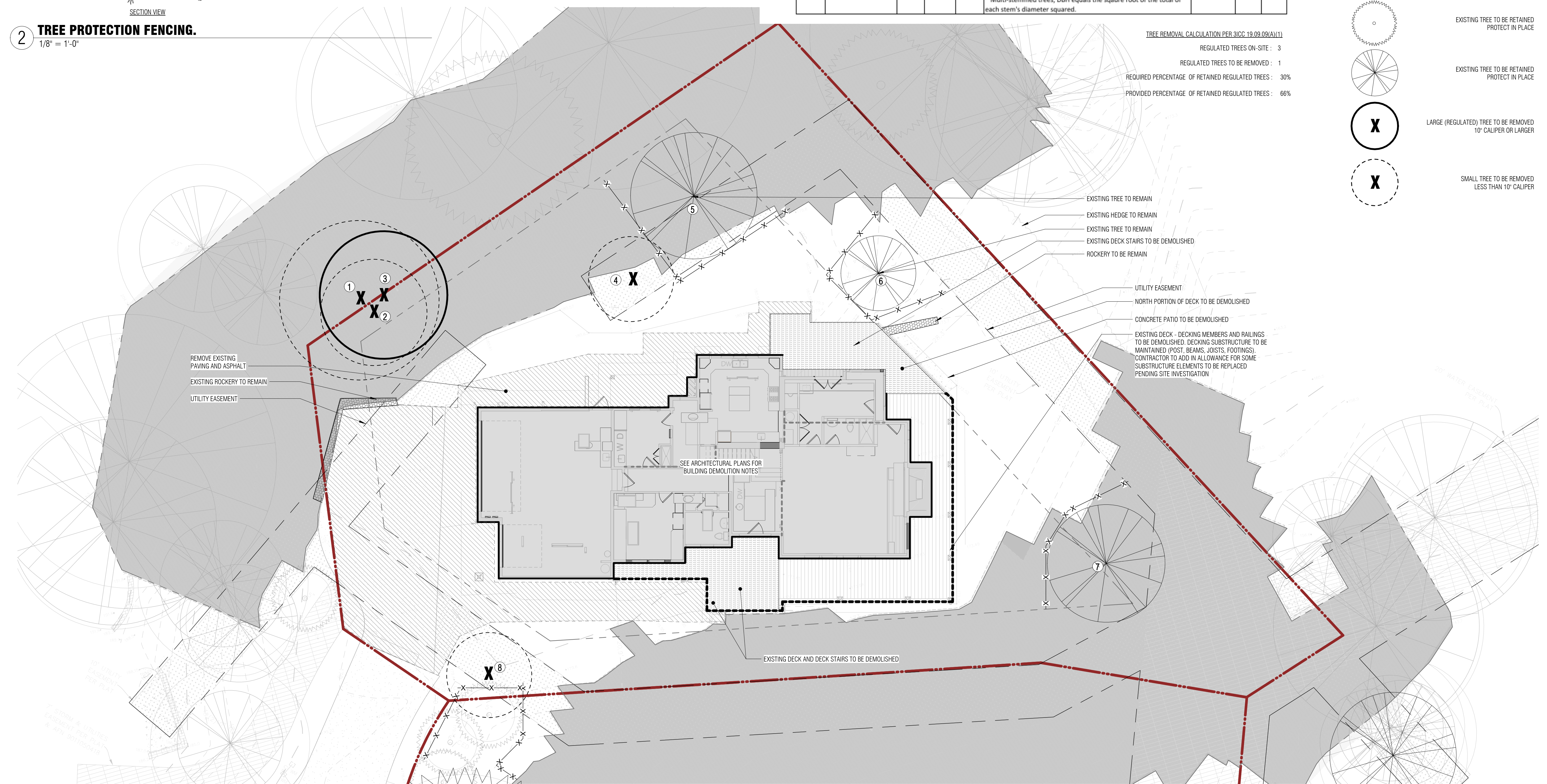
TREE & SOIL PROTECTION NOTES

- Tree Protection Fencing (TPF) shall consist of 4' tall orange poly fencing staked into place with stakes no more than 6' apart. The location of the TPF shall be detailed on the site plan as a measurement from a reference point, but in no case shall the TPF be located inside the drip line radius of the tree.
- Signage shall be placed on the fence at intervals not to exceed 20'. The signage shall state, "TREE PROTECTION ZONE. NO TOOLS, MATERIALS OR DEBRIS TO BE STORED IN THIS AREA".
- TPF shall be installed prior to any site soil disruption and shall stay in place until all other phases of the project are complete.
- If any tree roots larger than 1.5" in diameter are exposed during any excavation near the Tree Protection Fencing, said root impacts should be assessed via a site visit from a tree professional or via photo documentation and assessment. Encountered roots that need to be severed should be properly pruned using professional tools and should be undertaken with consideration of ANSI Standard A300 (Part B)-2013 Root Management.

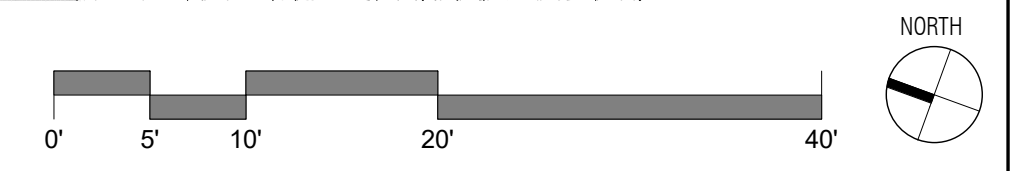
- NOTES:
1. NO PRUNING SHALL BE PERFORMED UNLESS THE DIRECTION OF AN ARBORIST.
 2. NO EQUIPMENT SHALL BE STORED OR OPERATED INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 3. NO STORAGE OF MATERIALS SHALL OCCUR INSIDE THE PROTECTIVE FENCING.
 4. REFER TO SITE/UTILITY PLAN FOR ANY MODIFICATIONS TO THE TREE PROTECTION AREA.
 5. UNAUTHORIZED ACTIVITIES IN TREE PROTECTION AREA MAY REQUIRE EVALUATION BY PRIVATE ARBORIST TO IDENTIFY IMPACTS AND MITIGATION REQUIRED.
 6. EXPOSED ROOTS: FOR ROOTS > 1" DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVED DAMAGED PORTION AND INFORM CITY ARBORIST.



2 TREE PROTECTION FENCING.
 1/8" = 1'-0"



1 SITE WALL PERMIT - LANDSCAPE DEMO PLAN
 1" = 10'-0"



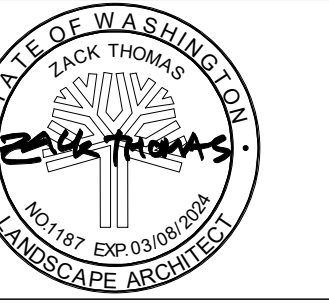
LOT 7 - LAND USE / ZONING CODE SUMMARY

REFERENCE: MERCER ISLAND CITY CODE 19.02.020

PARCEL:	9197800070
ZONE:	R-9.6 SINGLE FAMILY RESIDENTIAL
LOT SIZE:	14,944 SF
LOT COVERAGE & HARDSCAPE CALCULATIONS:	SEE CALCULATIONS ON ZONING CODE SITE PLAN DIAGRAM, SHEET G1.03

SITE PLAN MATERIALS KEY

	BLUESTONE PAVING - RANDOM RECTILINEAR PATTERN
	STABILIZED GRAVEL
	EXISTING VEHICULAR CONCRETE
	PROPOSED VEHICULAR CONCRETE
	SIDEWALK CONCRETE
	COMPOSITE WOOD DECKING EXISTING SUBSTRUCTURE TO REMAIN
	COMPOSITE WOOD DECK
	ROCKERY
	NATURAL TURF
	BARK MULCH
	AREA OF EASEMENT
	PROPERTY LINE
	TREE PROTECTION FENCING PER DETAIL 2/SHEET L1.01 & L2.01



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
 9102 S.E. 78TH PLACE, I
 MERCER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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2022.08.31 BUILDING PERMIT SUBMITTAL

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 ORIGINAL SHEET SIZE: 8.5x14"

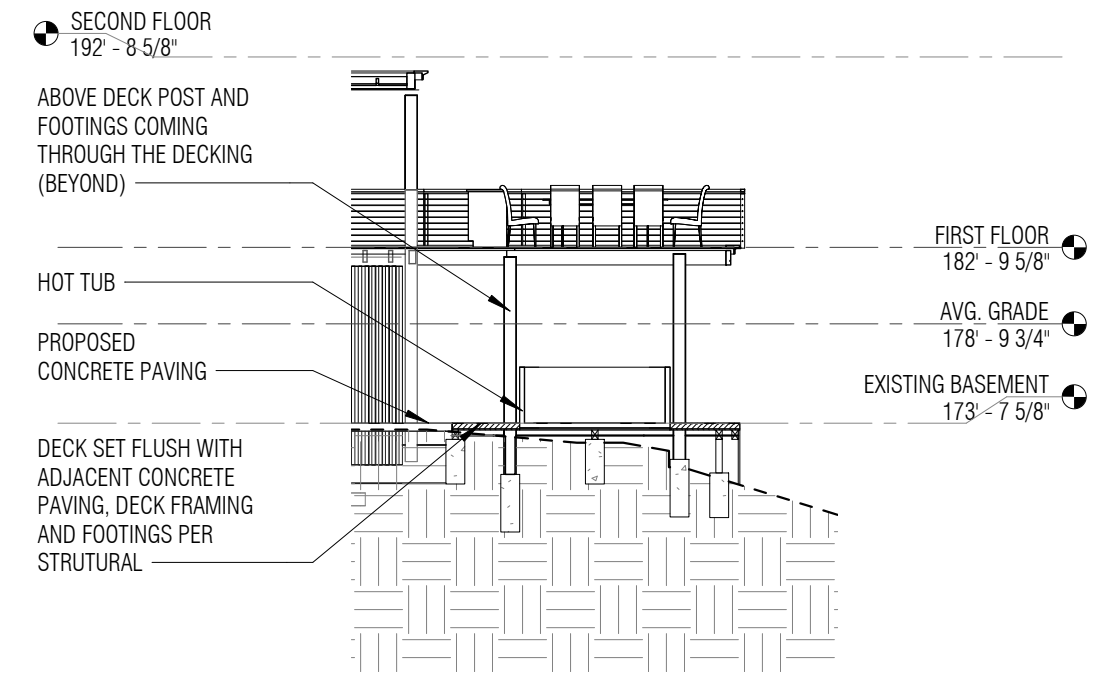
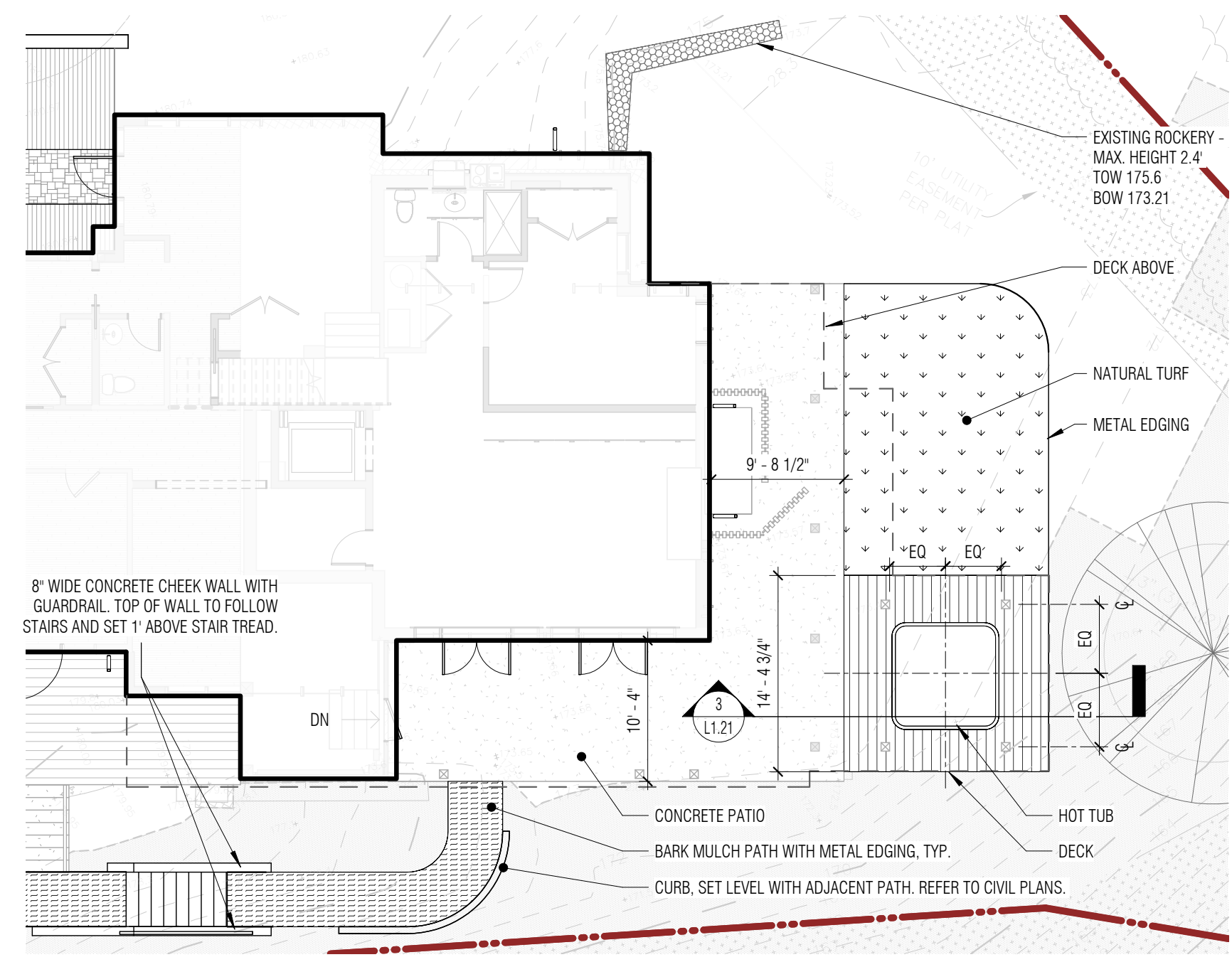
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

ENLARGED LANDSCAPE PLAN

SHEET NO.:

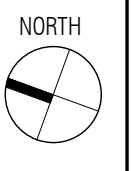
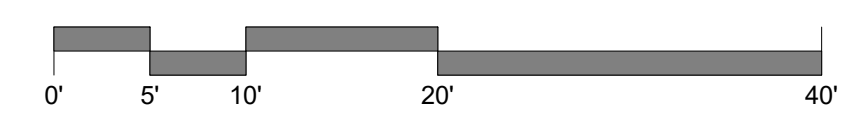
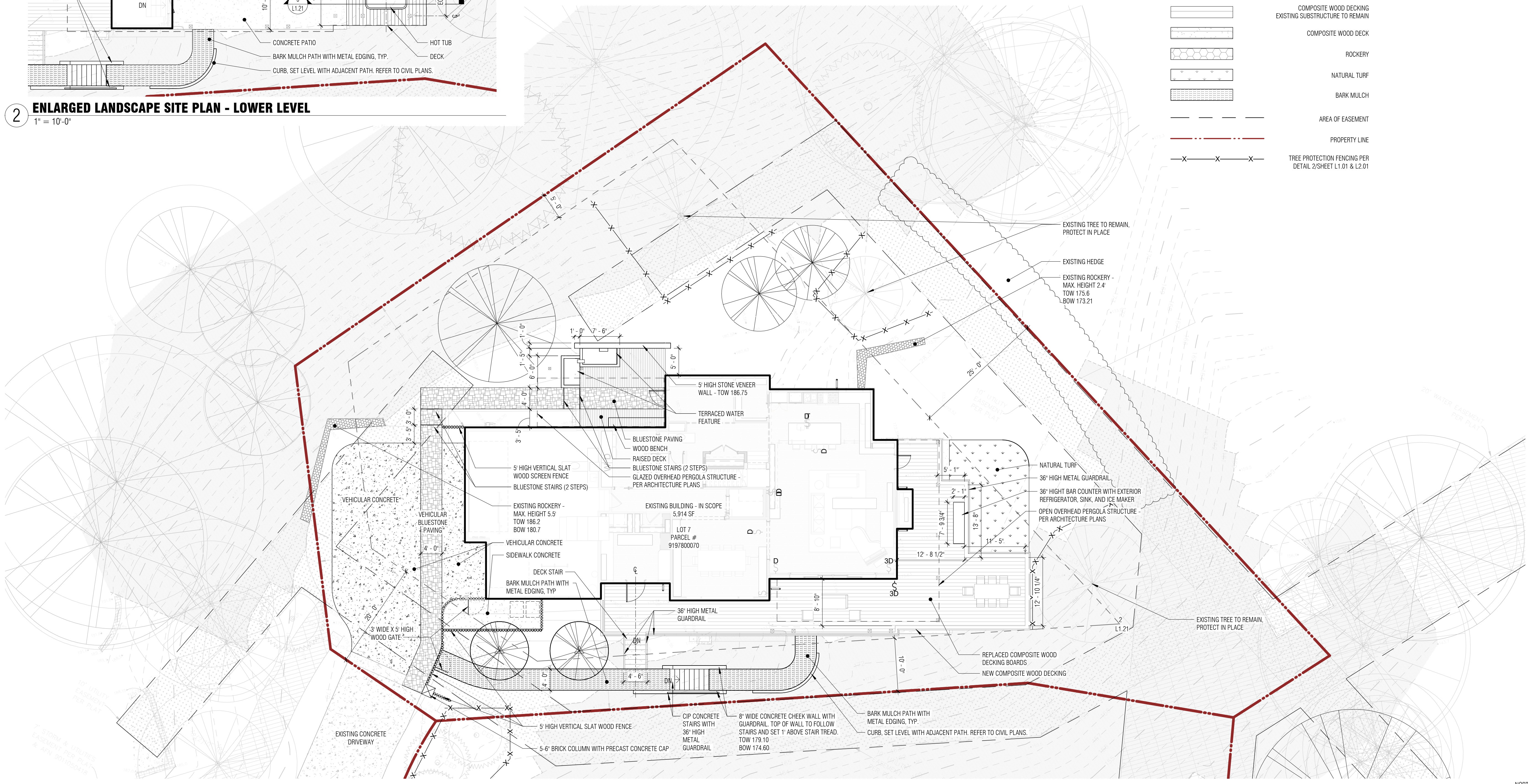
L1.21



3 SECTION - HOT TUB PATIO

2 ENLARGED LANDSCAPE SITE PLAN - LOWER LEVEL
 1" = 10'-0"

1 ENLARGED LANDSCAPE SITE PLAN - MAIN LEVEL
 1" = 10'-0"



TREE & SOIL PROTECTION NOTES

- Tree Protection Fencing (TPF) shall consist of 4' tall orange poly fencing staked into place with stakes no more than 6' apart. The location of the TPF shall be detailed on the site plan as a measurement from a reference point, but in no case shall the TPF be located inside the drip line radius of the tree.
- Signage shall be placed on the fence at intervals not to exceed 20'. The signage shall state, "TREE PROTECTION ZONE - NO TOOLS, MATERIALS OR DEBRIS TO BE STORED IN THIS AREA".
- TPF shall be installed prior to any site soil disruption and shall stay in place until all other phases of the project are complete.
- If any tree roots larger than 1.5" in diameter are exposed during any excavation near the Tree Protection Fencing, said root impacts should be assessed via a site visit from a tree professional or via photo documentation and assessment. Encountered roots that need to be severed should be properly pruned using professional tools and should be undertaken with consideration of ANSI Standard A300 (Part B)-2013 Root Management.

PLANTING SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	NATIVE STATUS	CAL.	QTY
	ACER PALMATUM SANGO KAKU	CORAL BARK MAPLE	NOT NATIVE	MULTI-STEM 3'-4'	1
	ACER CIRCINATUM	VINE MAPLE	NATIVE	2'-3'	2
	PRUNUS X YEDOENSIS	YOSHINO CHERRY	NOT NATIVE	2'-3'	2

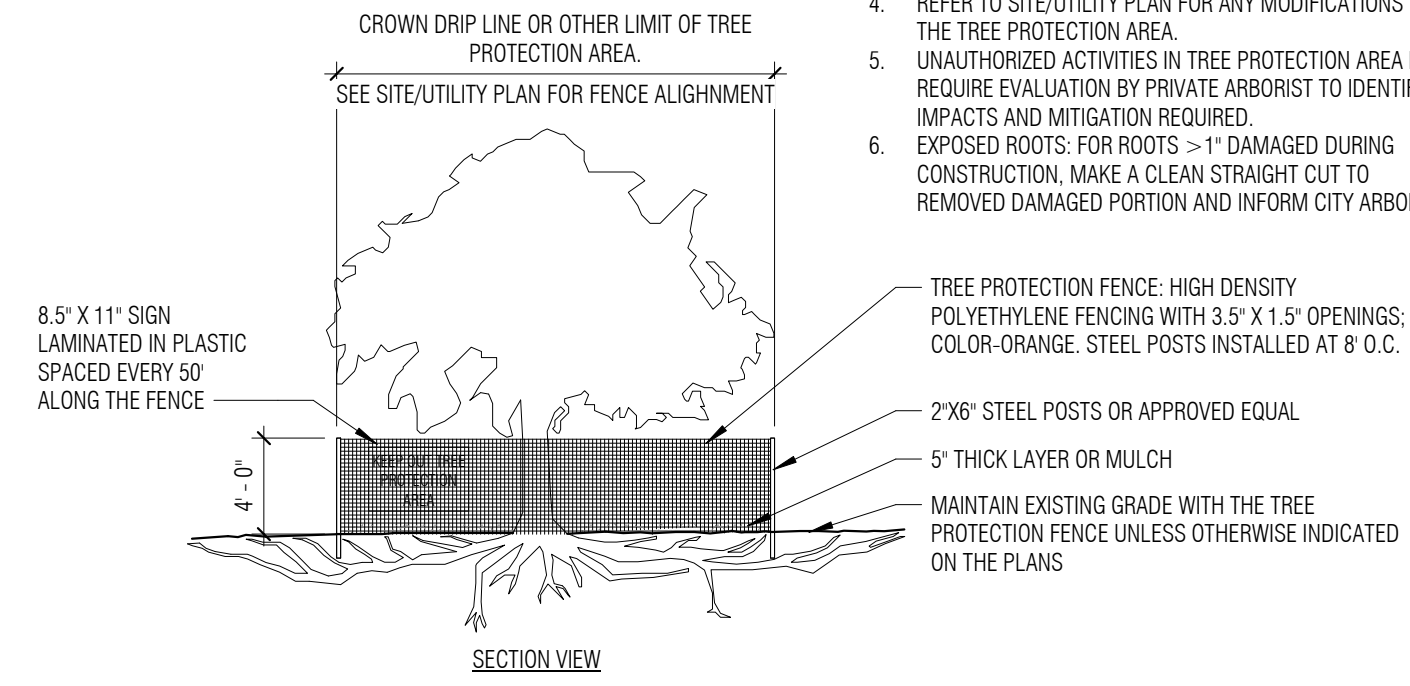
— X — X — TREE PROTECTION FENCING PER DETAIL 2/THIS SHEET

TREE REPLACEMENT CALCULATIONS

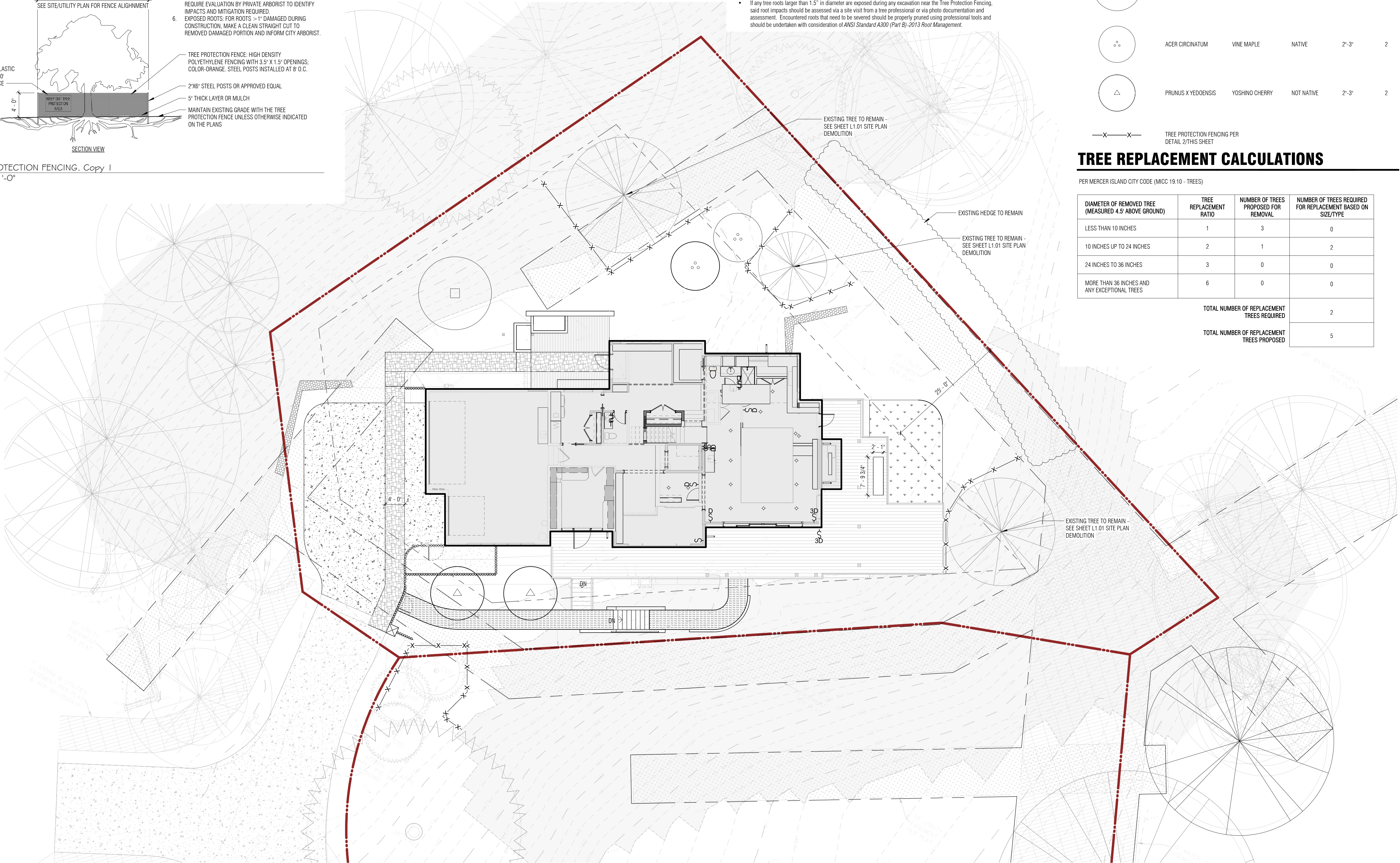
PER MERCER ISLAND CITY CODE (MCC 19.10 - TREES)

DIAMETER OF REMOVED TREE (MEASURED 4.5' ABOVE GROUND)	TREE REPLACEMENT RATIO	NUMBER OF TREES PROPOSED FOR REMOVAL	NUMBER OF TREES REQUIRED FOR REPLACEMENT BASED ON SIZE/TYPE
LESS THAN 10 INCHES	1	3	0
10 INCHES UP TO 24 INCHES	2	1	2
24 INCHES TO 36 INCHES	3	0	0
MORE THAN 36 INCHES AND ANY EXCEPTIONAL TREES	6	0	0
TOTAL NUMBER OF REPLACEMENT TREES REQUIRED			2
TOTAL NUMBER OF REPLACEMENT TREES PROPOSED			5

- NOTES:
- NO PRUNING SHALL BE PERFORMED UNLESS THE DIRECTION OF AN ARBORIST.
 - NO EQUIPMENT SHALL BE STORED OR OPERATED INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - NO STORAGE OF MATERIALS SHALL OCCUR INSIDE THE PROTECTIVE FENCING.
 - REFER TO SITE/UTILITY PLAN FOR ANY MODIFICATIONS TO THE TREE PROTECTION AREA.
 - UNAUTHORIZED ACTIVITIES IN TREE PROTECTION AREA MAY REQUIRE EVALUATION BY PRIVATE ARBORIST TO IDENTIFY IMPACTS AND MITIGATION REQUIRED.
 - EXPOSED ROOTS: FOR ROOTS >1" DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVED DAMAGED PORTION AND INFORM CITY ARBORIST.



2 TREE PROTECTION FENCING, Copy 1
1/8" = 1'-0"



1 SITE WALL PERMIT - TREE PLAN
1" = 10'-0"



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
9102 S.E. 28TH PLACE, I
MERCER ISLAND, WA 98040
OWNER:
KEVIN & NANCY LEUNG

REVISION DATE DESCRIPTION

ISSUANCES

DATE DESCRIPTION
2022.08.31 BUILDING PERMIT SUBMITTAL

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
ORIGINAL SHEET SIZE: 8.5x11

BOARD & VELLUM PROJECT #: 2021054.00
JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

BUILDING PERMIT - TREE PLAN

SHEET NO.:



LAND USE / ZONING CODE SUMMARY

REFERENCE: MERCER ISLAND CITY CODE 19.02.020

ZONE: R-9.6 SINGLE FAMILY RESIDENTIAL
LOT SIZE: 14,944 SF
LEGAL DESCRIPTION: PARCEL A, LOT 7 OF WATERSIDE, AS PER PLAT RECORDED IN VOLUME 155 OF PLATS, PAGES 39 THROUGH 43, RECORDS OF KING COUNTY, TOGETHER WITH AN UNDIVIDED 1/10 INTEREST IN TRACTS A AND D, AND TOGETHER WITH AN UNDIVIDED 1/7 INTEREST IN TRACT C, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

FRONT SETBACK:
MIN. REQ'D: 20'-0"
PROPOSED: 20'-0" (THEREFORE OKAY)

SIDE YARD SETBACK:
TOTAL MINIMUM SIDE YARD REQUIRED:

1. REQUIREMENTS BASED ON LOT WIDTH: TOTAL SIDE YARDS MUST BE AT LEAST 17% OF THE LOT WIDTH. MINIMUM SIDE YARD WIDTH IS 5' OR 33% OF THE TOTAL SIDE YARD REQUIREMENT, WHICHEVER IS GREATER.

TOTAL MINIMUM SIDE YARD REQUIRED = 18'
 (LOT WIDTH (USING LOT WIDTH CIRCLE) = 107' LOT WIDTH

LOT WIDTH 107' > 90'.
 THEREFORE MINIMUM TOTAL SIDEYARD REQUIREMENT = 17%, 17% OF 107' = 18'

TOTAL SIDE YARD PROPOSED:

2. VARIABLE SIDE YARD DEPTH REQUIREMENT:
 A. VARIABLE SIDE YARD DEPTH REQUIREMENTS APPLY TO INTERIOR LOT LINES ONLY. (SIDE YARDS ARE AT INTERIOR LOT LINES)
 B. A MINIMUM SIDE YARD OF 7.5' IS REQUIRED FOR 1) NONGABLED ROOF ENDS WHERE THE HEIGHT IS MORE THAN 15'; OR 2) GABLED ENDS MORE THAN 18'. BOTH MEASUREMENTS ARE TAKEN FROM EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, TO THE TOP OF THE GABLED ROOF END ADJOINING THE SIDE YARD. (HEIGHT OF PROPOSED GARAGE IS LESS THAN 15')
 C. A MINIMUM SIDE YARD OF 10' IS REQUIRED FOR SINGLE-FAMILY DWELLINGS WITH A HEIGHT OF MORE THAN 25' MEASURED FROM EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, TO THE TOP OF THE EXTERIOR WALL FACADE ADJOINING THE SIDE YARD. (SOUTH SIDE YARD = 10', SEE BUILDING ELEVATION A3.13)

REAR SETBACK:
MIN. REQ'D: 25'-0"
PROPOSED: 25'-0" (THEREFORE OKAY)

HEIGHT LIMIT:
ALLOWED: SEE SHEET A1.02 FOR AVERAGE GRADE CALCULATIONS
 30'-0" ABOVE AVERAGE BUILDING ELEVATION TO THE HIGHEST POINT ON THE ROOF. ON DOWNHILL FACADES HEIGHT SHALL BE MEASURED FROM THE EXISTING OR FINISHED GRADE (WHICHEVER IS LOWER AT THE FURTHEST DOWNHILL EXTENT OF THE PROPOSED BUILDING) TO THE TOP OF THE EXTERIOR WALL FACADE SUPPORTING THE ROOF FRAMING.

MAXIMUM HEIGHT:
PROPOSED: 208'-9 3/4"
 208'-1"

LOT COVERAGE: SEE G1.03 FOR LOT COVERAGE CALCULATIONS

LEUNG RESIDENCE

PROJECT ADDRESS:
 9103 S.E. 78TH PLACE
 MERCER ISLAND, WA 98040
OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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2022.08.31 BUILDING PERMIT SUBMITTAL

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 ORIGINAL SHEET SIZE: 8'25"X4'

BOARD & VELLUM PROJECT #: 2021054.00
JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

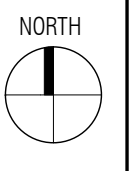
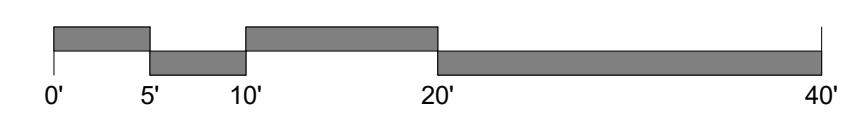
SITE PLAN

SHEET NO.:

A1.01

1 SITE PLAN - PROPOSED

1" = 10'-0"



DEMOLITION NOTES

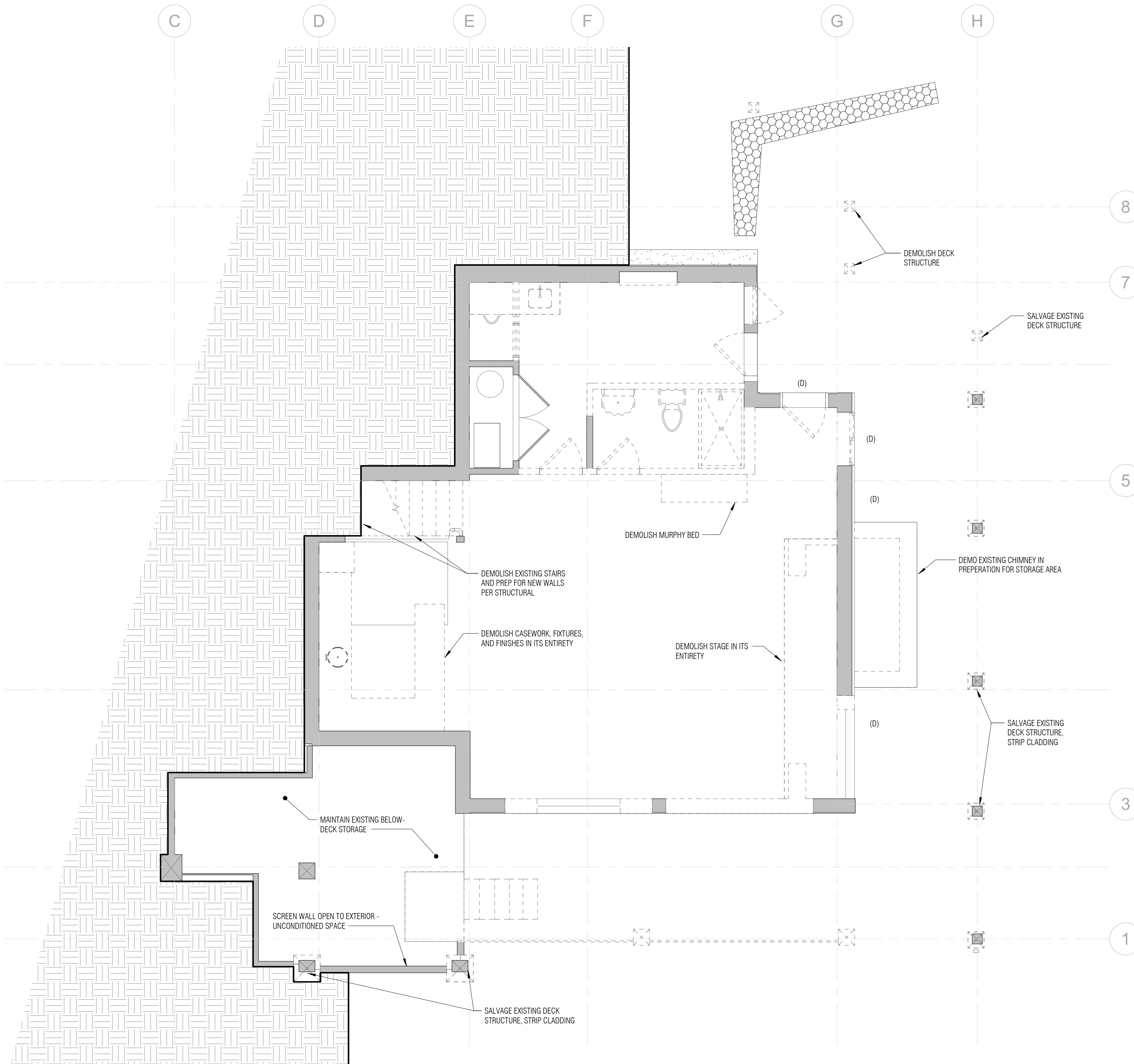
1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES.
3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
4. REPLACE EXISTING INTERIOR DOORS IN PLACE UTILIZING EXISTING FRAMES UNLESS NOTED OTHERWISE.
5. REMOVE EXISTING FLOOR FINISHES IN ALL ROOMS RECEIVING WORK EXCEPT AT HARDWOOD FLOORS.
6. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.

WALL KEY

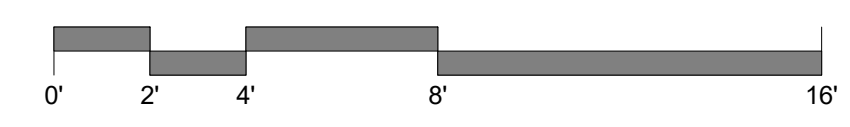
- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL

WINDOW / DOOR KEY

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE



1 LOWER FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
9100 S.E. 78TH BLVD, J
MERGER ISLAND, WA 98040
OWNER:
KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

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ORIGINAL SHEET SIZE: 8.5x11

BOARD & VELLUM PROJECT #: 2021054.00
JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

LOWER FLOOR PLAN - DEMOLITION

SHEET NO.:

GENERAL PLAN NOTES

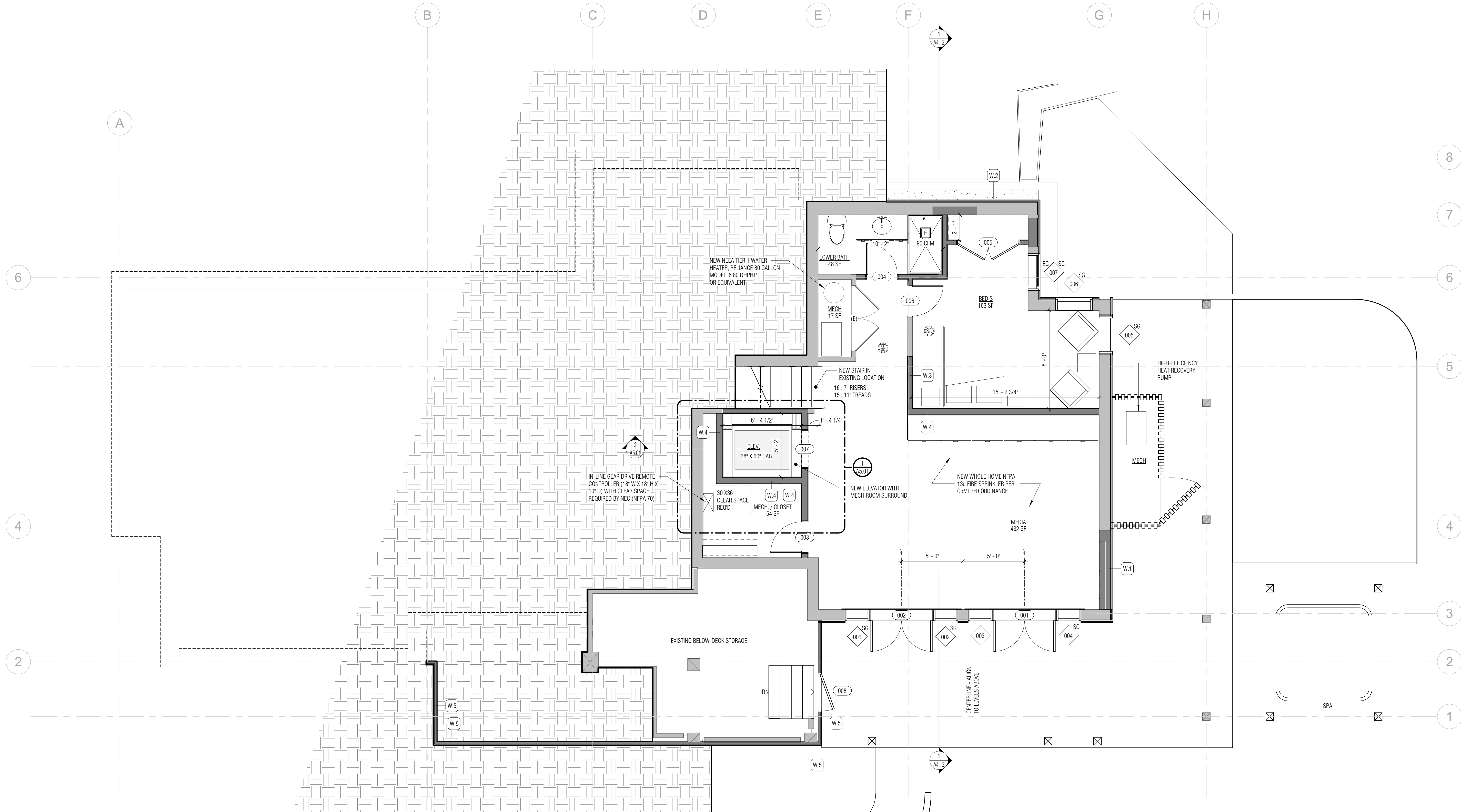
- SEE SHEET G0.01 FOR GENERAL INFORMATION.
- SEE SHEET A9.11 FOR WALL ASSEMBLIES.
- NEW EXTERIOR WALLS TO BE TYPE W.1 UNLESS NOTED OTHERWISE. PROVIDE EXTERIOR INSULATION TO EXISTING EXTERIOR WALLS. USE W.2 TYPICALLY.
- ALL NEW INTERIOR WALLS ARE TYPE W.4 UNLESS NOTED OTHERWISE.
- PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS.
- WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH DIMENSION OF EXISTING WALL. COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
- SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
- NON-DIMENSIONED WINDOWS AND WINDOWS DESIGNATED WITH 'R' DENOTE REPLACEMENTS PER EXISTING ROUGH OPENINGS. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
- NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
- NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.
- ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH UNLESS NOTED OTHERWISE.

WALL KEY

-  EXISTING WALL
-  DEMO WALL
-  NEW WALL
-  NEW CONC WALL

WINDOW / DOOR KEY

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE



1 LOWER FLOOR PLAN - PROPOSED
1/4" = 1'-0"

LEUNG RESIDENCE

PROJECT ADDRESS:
9102 S.E. 78TH BLVD, UNIT 1
MERCER ISLAND, WA 98040
OWNER:
KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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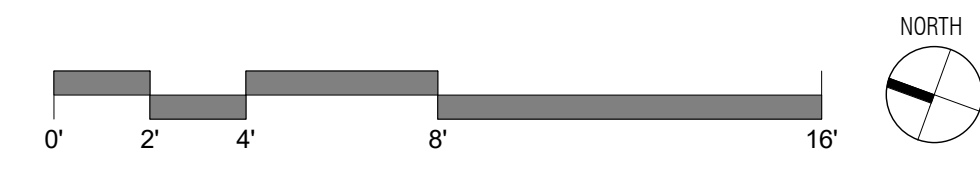
ISSUANCES	DATE	DESCRIPTION
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ORIGINAL SHEET SIZE: 8.5" X 11"
BOARD & VELLUM PROJECT #: 2021054.00
JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

LOWER FLOOR PLAN - PROPOSED





SHEET NO.:



DEMOLITION NOTES

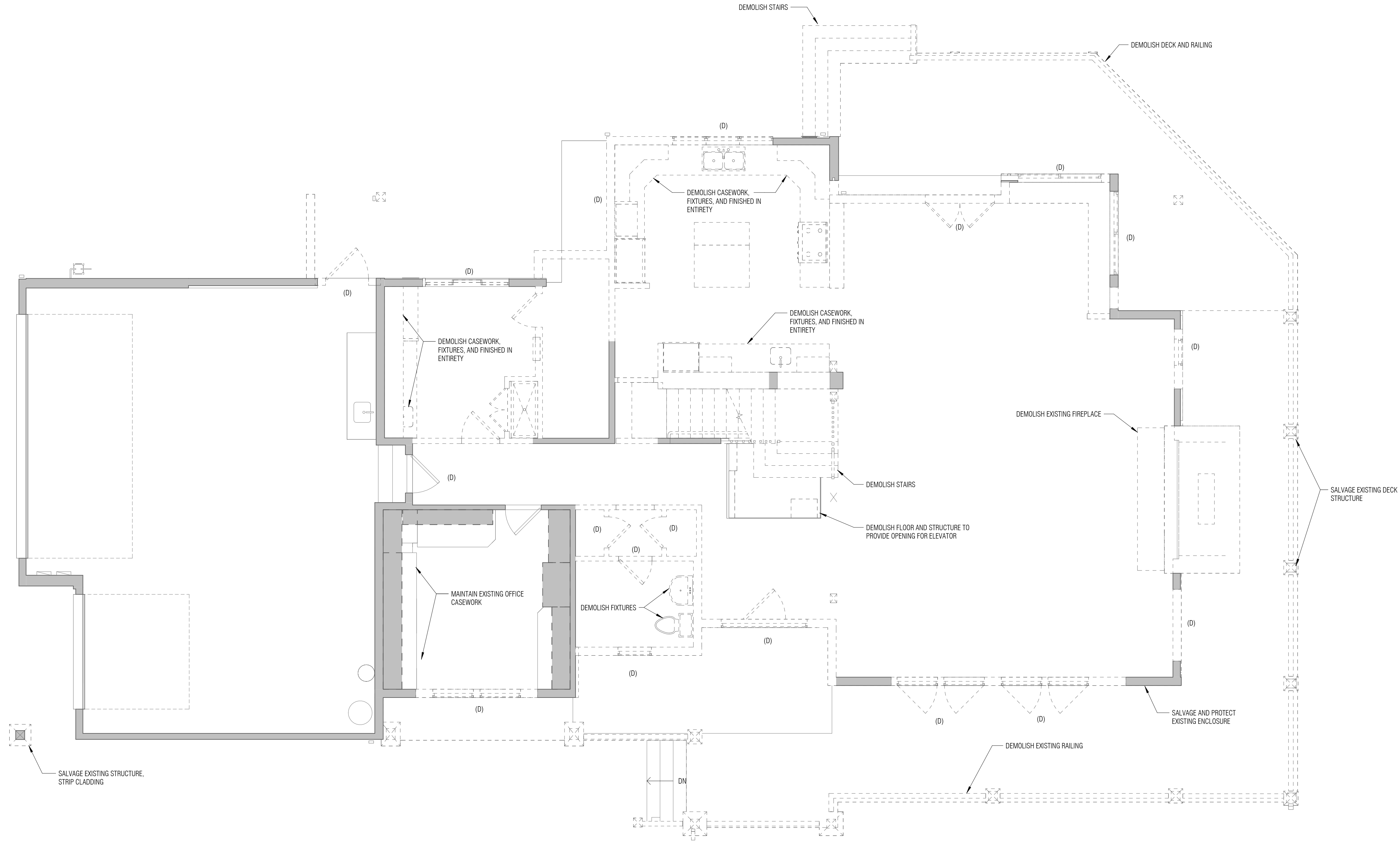
1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
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WALL KEY

-  EXISTING WALL
-  DEMO WALL
-  NEW WALL
-  NEW CONC WALL

WINDOW / DOOR KEY

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE



LEUNG RESIDENCE

PROJECT ADDRESS:
 9100 S.E. 78TH BLVD, J
 MERGER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

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 ORIGINAL SHEET SIZE IS 22"X34"

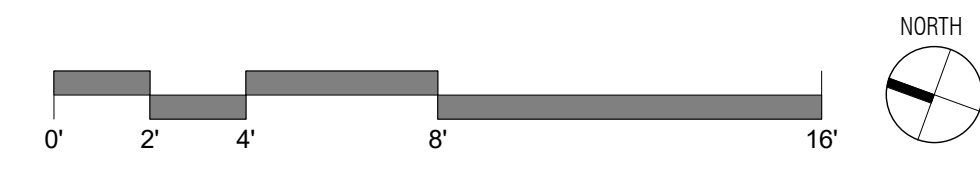
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

MAIN FLOOR PLAN - DEMOLITION

SHEET NO.:

1 MAIN FLOOR PLAN - DEMOLITION
 1/4" = 1'-0"



A2.11

GENERAL PLAN NOTES

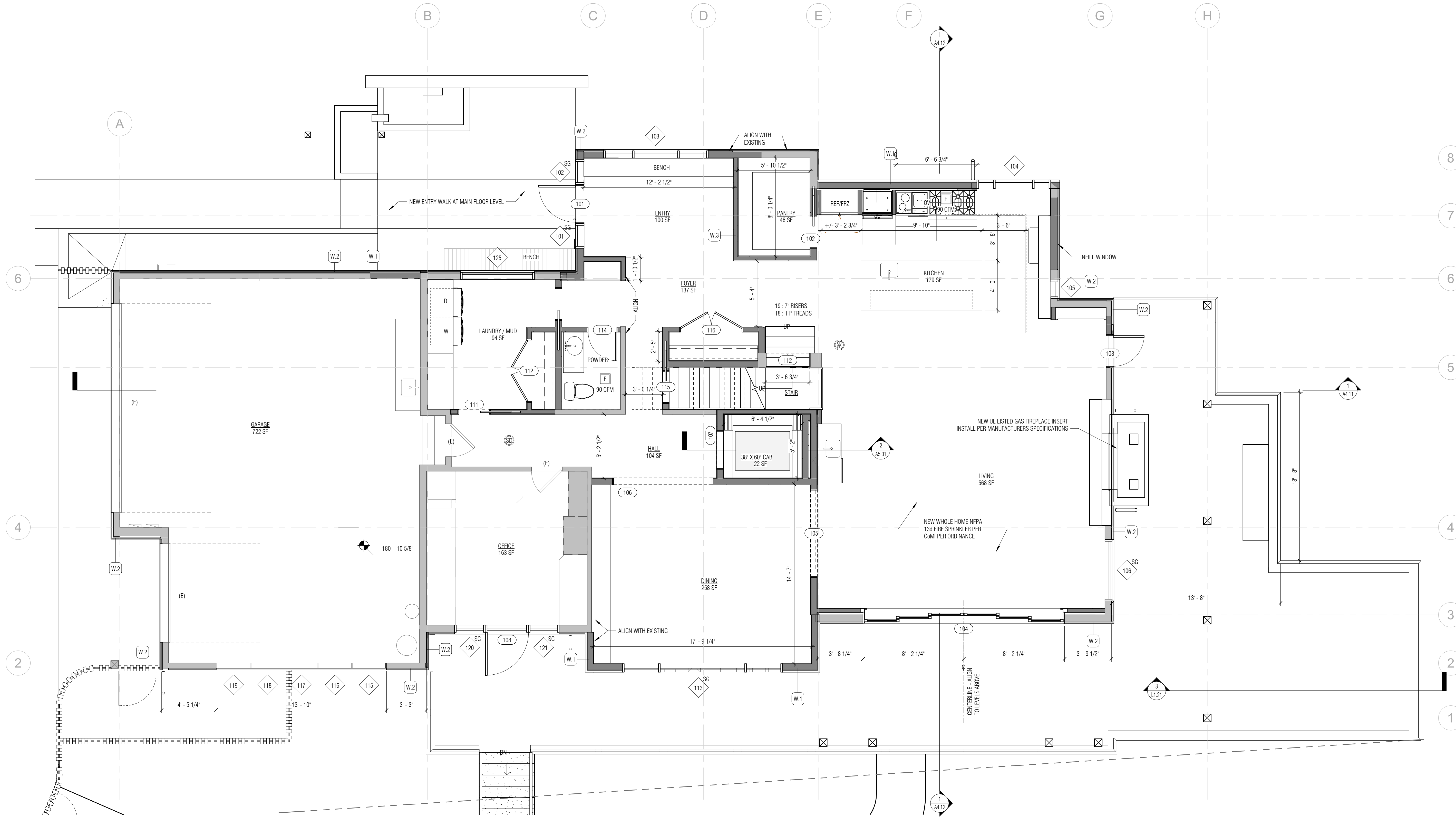
- SEE SHEET G0.01 FOR GENERAL INFORMATION.
- SEE SHEET A9.11 FOR WALL ASSEMBLIES.
- NEW EXTERIOR WALLS TO BE TYPE W.1 UNLESS NOTED OTHERWISE. PROVIDE EXTERIOR INSULATION TO EXISTING EXTERIOR WALLS. USE W.2 TYPICALLY.
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WALL KEY

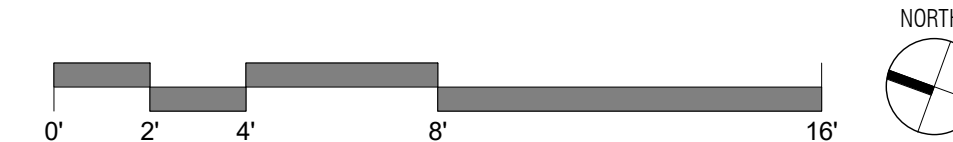
- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL

WINDOW / DOOR KEY

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE



1 MAIN FLOOR PLAN - PROPOSED
1/4" = 1'-0"



LEUNG RESIDENCE

PROJECT ADDRESS:
9100 S.E. 27TH PLACE
MERCER ISLAND, WA 98040
OWNER:
KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

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ORIGINAL SHEET SIZE: 8.5x11

BOARD & VELLUM PROJECT #: 2021054.00
JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

MAIN FLOOR PLAN - PROPOSED

SHEET NO.:

DEMOLITION NOTES

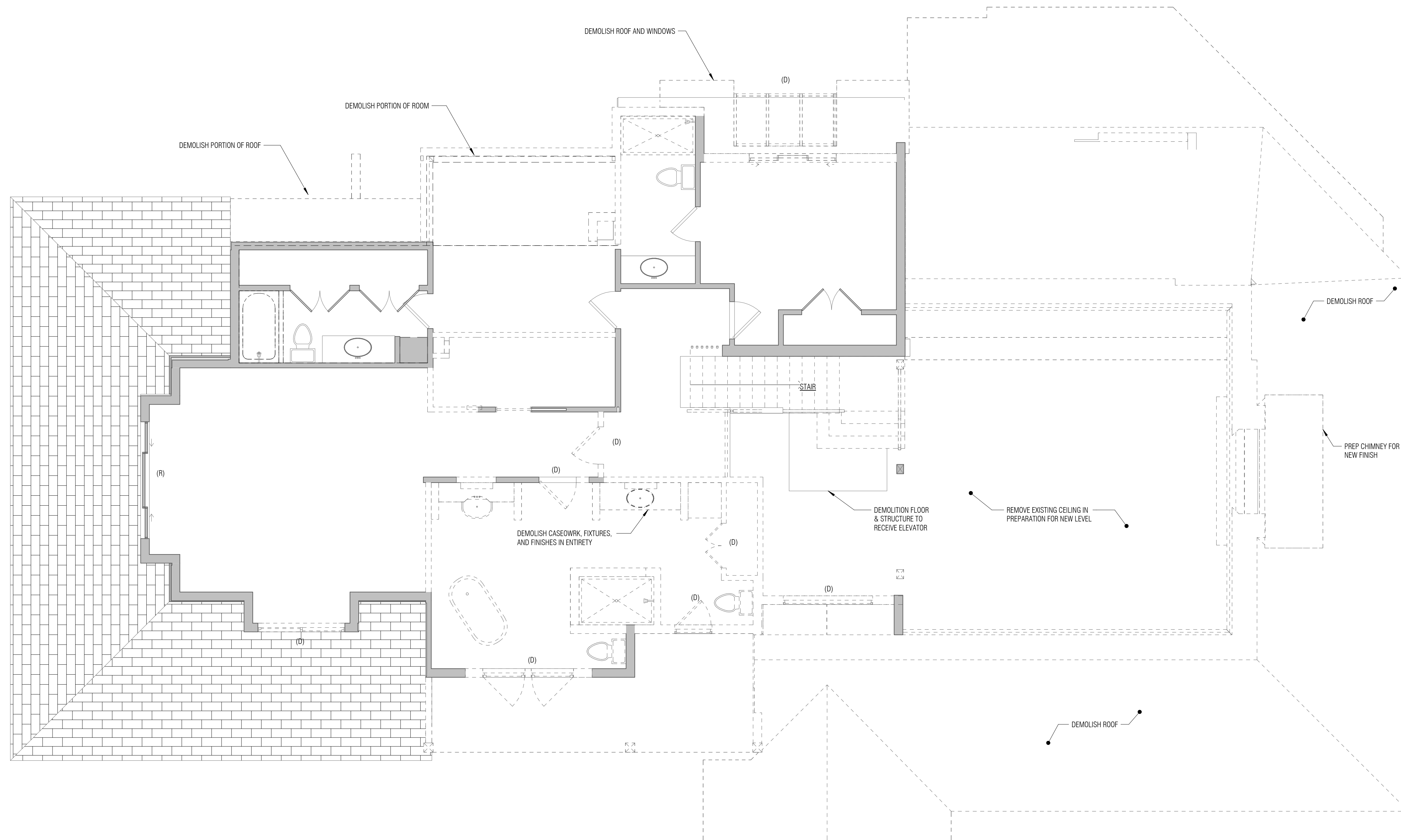
1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES.
3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
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WALL KEY

	EXISTING WALL
	DEMO WALL
	NEW WALL
	NEW CONC WALL

WINDOW / DOOR KEY

- | | |
|-----|---|
| (E) | EXISTING DOOR OR WINDOW TO REMAIN |
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REVISION	DATE	DESCRIPTION
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ISSUANCES	DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL	

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 ORIGINAL SHEET SIZE: 10' X 14'

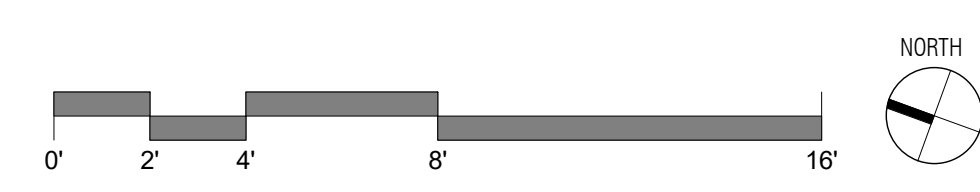
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

UPPER FLOOR PLAN - DEMOLITION

SHEET NO.:

1 UPPER FLOOR PLAN - DEMOLITION
 1/4" = 1'-0"



A2.21

GENERAL PLAN NOTES

- SEE SHEET G0.01 FOR GENERAL INFORMATION.
- SEE SHEET A9.11 FOR WALL ASSEMBLIES.
- NEW EXTERIOR WALLS TO BE TYPE W.1 UNLESS NOTED OTHERWISE. PROVIDE EXTERIOR INSULATION TO EXISTING EXTERIOR WALLS. USE W.2 TYPICALLY.
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WALL KEY

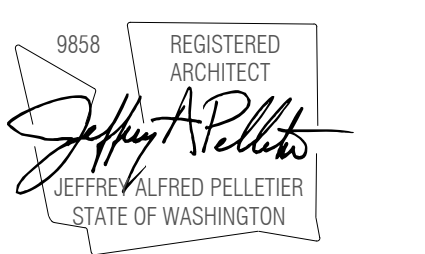
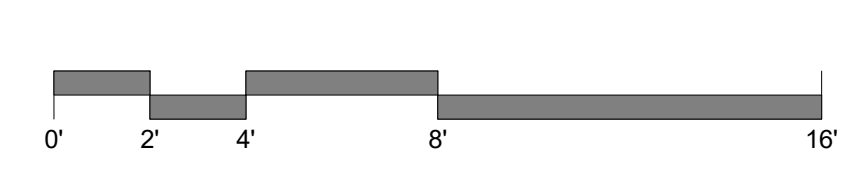
- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL

WINDOW / DOOR KEY

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE



1 UPPER FLOOR PLAN - PROPOSED
1/4" = 1'-0"



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
9102 S.E. 78TH BLVD, UNIT 1
MERIDEN ISLAND, WA 98040
OWNER:
KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

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BOARD & VELLUM PROJECT #: 2021054.00
JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

UPPER FLOOR PLAN - PROPOSED

SHEET NO.:

DEMOLITION NOTES

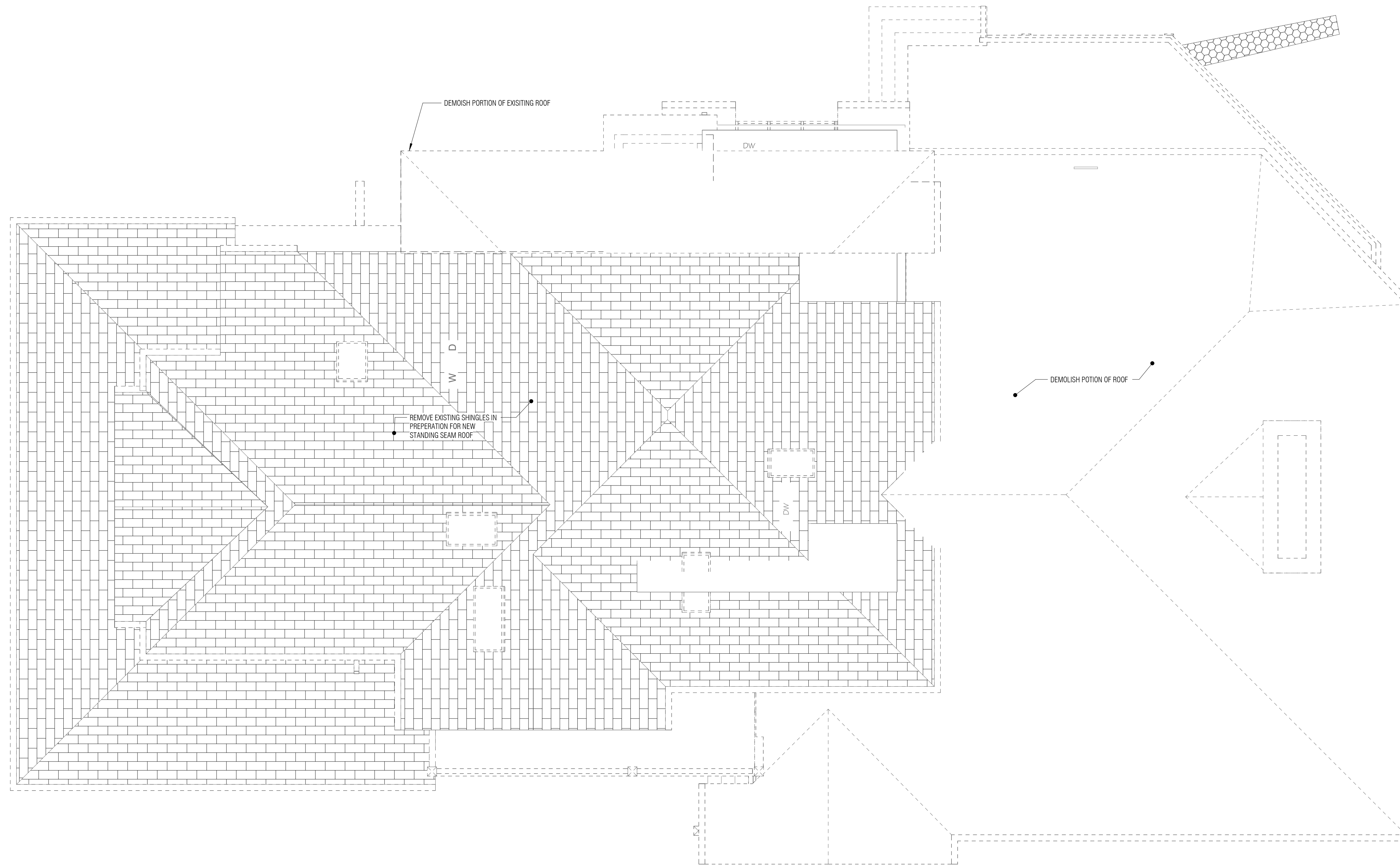
1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES.
3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
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WALL KEY

	EXISTING WALL
	DEMO WALL
	NEW WALL
	NEW CONC WALL

WINDOW / DOOR KEY

- | | |
|-----|---|
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| (R) | EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE |



LEUNG RESIDENCE

PROJECT ADDRESS:
 9103 S.E. 78TH BLVD, J
 MERIDEN ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

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 ORIGINAL SHEET SIZE: 8.5x14.5"

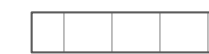
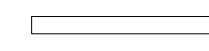


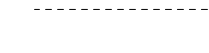
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

ROOF PLAN - DEMOLITION

SHEET NO.:

ROOF LEGEND

-  ROOF ASSEMBLY - STANDING SEAM METAL PER SPECIFICATION
-  GUTTER - DRAINED TO DOWNSPOUT
-  DOWNSPOUT LOCATION
-  RIDGE VENTILATION
-  FACE OF EXTERIOR WALL BELOW

ROOF PLAN NOTES

1. SEE SHEET G0.01 FOR GENERAL INFORMATION.
2. SEE SHEET A9.11 FOR ROOF ASSEMBLIES. TYPICAL ASSEMBLY IS R.3, UNLESS NOTED OTHERWISE - SEE SECTIONS FOR ASSEMBLY CALLOUTS.
3. EXISTING TIGHTLINED DOWNSPOUT LOCATIONS TO BE REPURPOSED AND RE-USED. NO FOUNDATION DRAIN CONNECTIONS PERMITTED.

ROOF VENTILATION SUMMARY

ROOF VENTILATION PROVIDED PER IRC SECTION R806

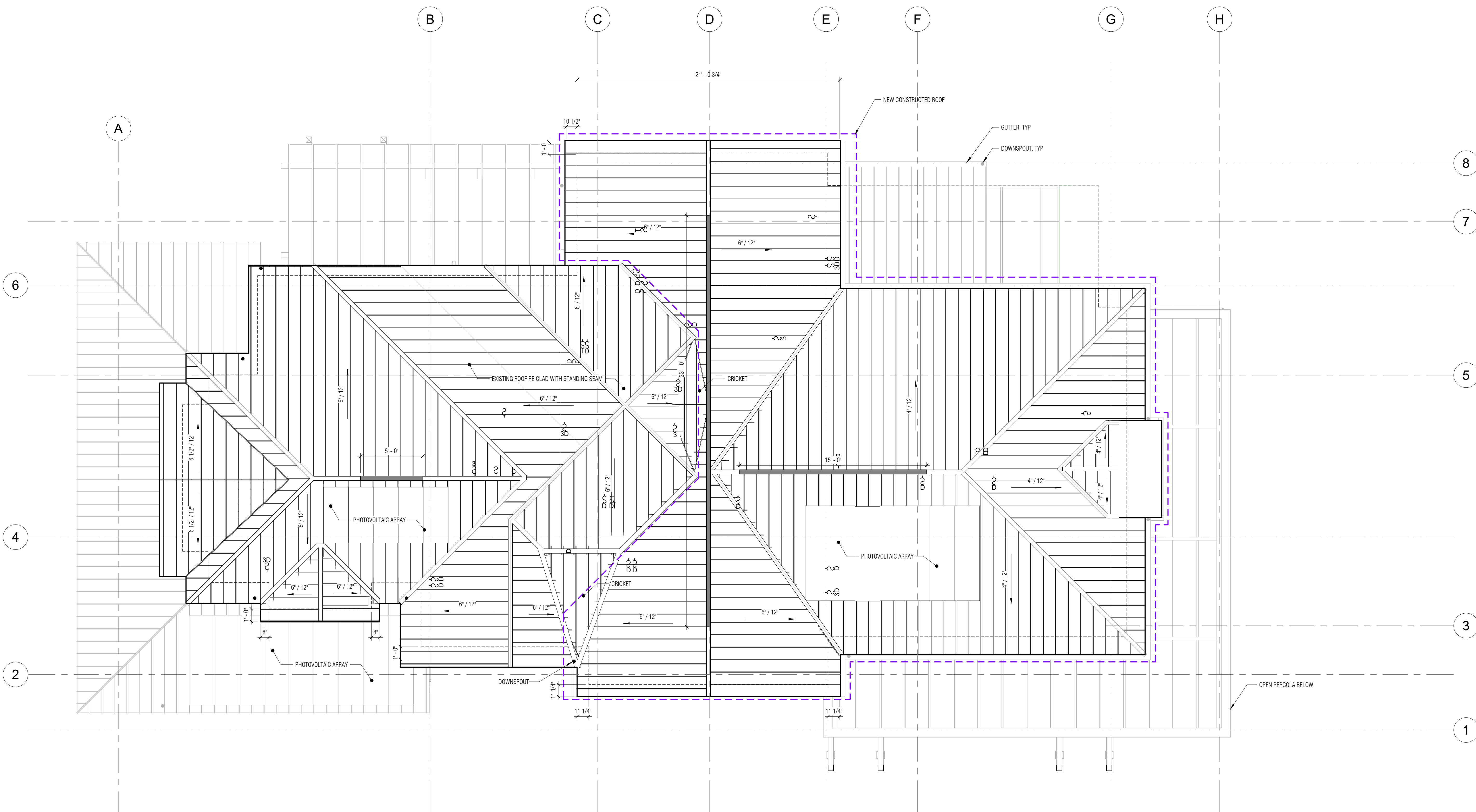
R806.1 - VENTILATION REQUIRED FOR ATTIC SPACES.
 R806.2 - MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE, OR 1/300, PROVIDED 40-50% OF THE VENTILATION IS PROVIDED IN THE UPPER PORTION (RIDGE VENT).
 R806.3 - VENTILATION CLEARANCES TO BE PROVIDED - NOT LESS THAN A 1-INCH (25 MM) SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
 R806.4 - WEATHER PROTECTION SHALL BE PROVIDED.

ROOF VENTILATION AREA = 2,640 SF
 VENTILATION AREA REQUIRED AT 1/300 = 8.8 SF = 1,268 SQ IN

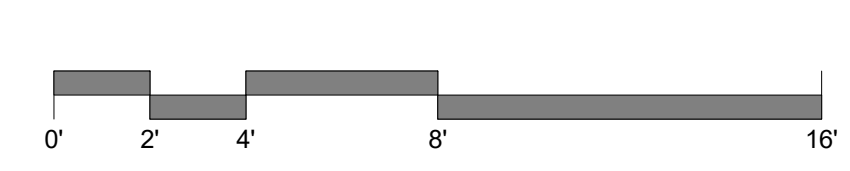
TOTAL VENTILATION AREA PROVIDED:

- SOFFIT VENTILATION = 634 SQ IN = 106 LINEAR FEET (AT 6 SQ IN / LF)
- RIDGE VENTILATION (50%) = 634 SQ IN = 53 LINEAR FEET (AT 12 SQ IN / LF)

NOTE: CONTRACTOR SHALL PROVIDE BOTH SOFFIT AND RIDGE VENTILATION SHOWN ABOVE AS THE MINIMUM.



1 ROOF PLAN - PROPOSED
 1/4" = 1'-0"



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
 9102 S.E. 78TH BLVD. E.
 MERGER ISLAND, WA 98040

OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES	DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL	

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 ORIGINAL SHEET SIZE: 8.5x11

BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

ROOF PLAN - PROPOSED

SHEET NO.:

JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
 9103 S.E. 78TH BLVD. J
 MERCEY ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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2022.08.31	BUILDING PERMIT SUBMITTAL
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COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
 ORIGINAL SHEET SIZE IS 35"X45"

BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

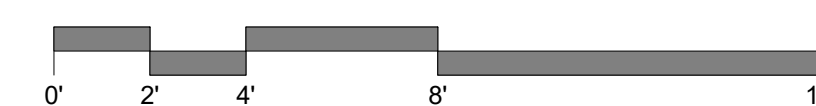
BUILDING ELEVATION
 SOUTH

SHEET NO.:

A3.11



1 SOUTH ELEVATION - PROPOSED
 1/4" = 1'-0"



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
 9102 S.E. 78TH BLVD, J
 MERGER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION DATE DESCRIPTION

ISSUANCES

DATE DESCRIPTION

2022.08.31 BUILDING PERMIT SUBMITTAL

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
 ORIGINAL SHEET SIZE IS 24"X36"

BOARD & VELLUM PROJECT #: 2021054.00

JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

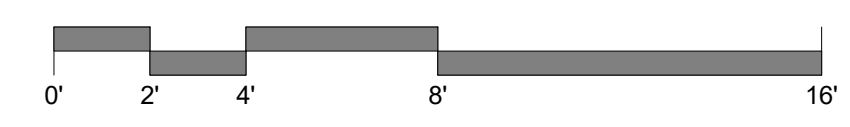
BUILDING ELEVATION EAST

SHEET NO.:

A3.12



1 EAST ELEVATION - PROPOSED
 1/4" = 1'-0"



LEUNG RESIDENCE

PROJECT ADDRESS:
 9103 S.E. 27TH PLACE, I
 MERGER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION DATE DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
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 ORIGINAL SHEET SIZE IS 24"X36"

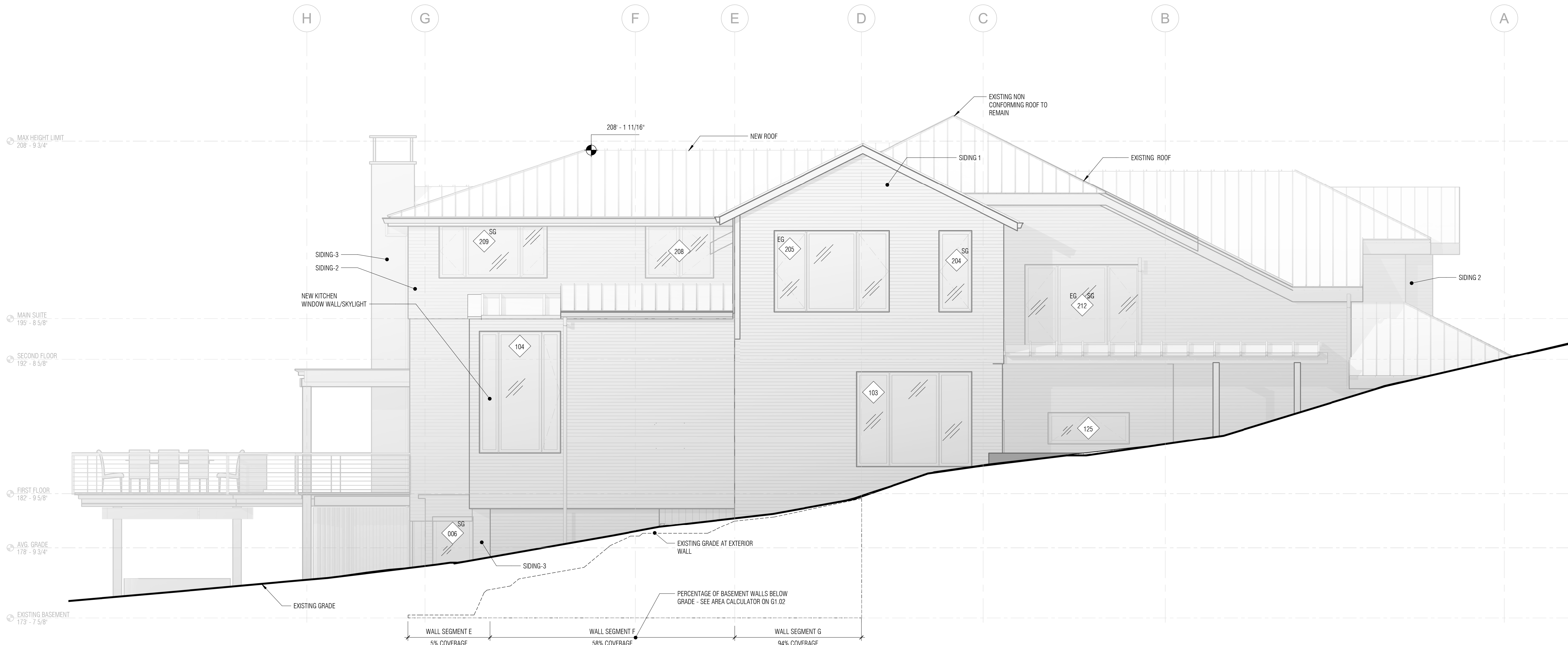
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

BUILDING ELEVATION
 NORTH

SHEET NO.:

A3.13



1 NORTH ELEVATION - PROPOSED
 1/4" = 1'-0"

JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
 9100 S.E. 78TH BLVD, J
 MERGER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION DATE DESCRIPTION

ISSUANCES

DATE DESCRIPTION

2022.08.31 BUILDING PERMIT SUBMITTAL

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 ORIGINAL SHEET SIZE IS 22"X34"

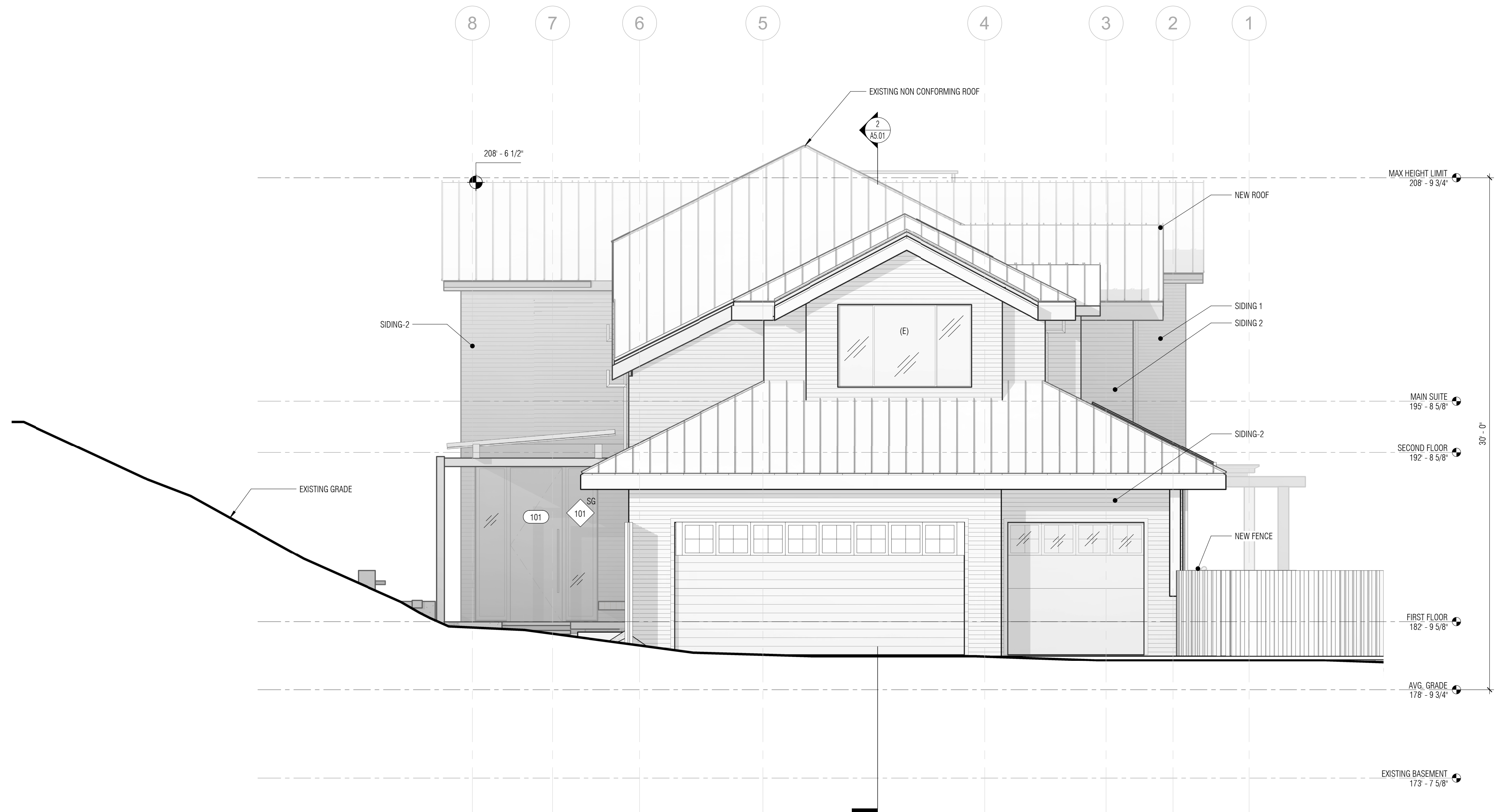
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

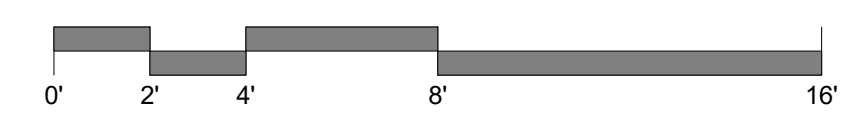
BUILDING ELEVATION WEST

SHEET NO.:

A3.14



1 WEST ELEVATION - PROPOSED
 1/4" = 1'-0"



LEUNG RESIDENCE

PROJECT ADDRESS:
 9100 S.E. 78TH BLVD, I
 MERGER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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 ORIGINAL SHEET SIZE IS 22"X34"

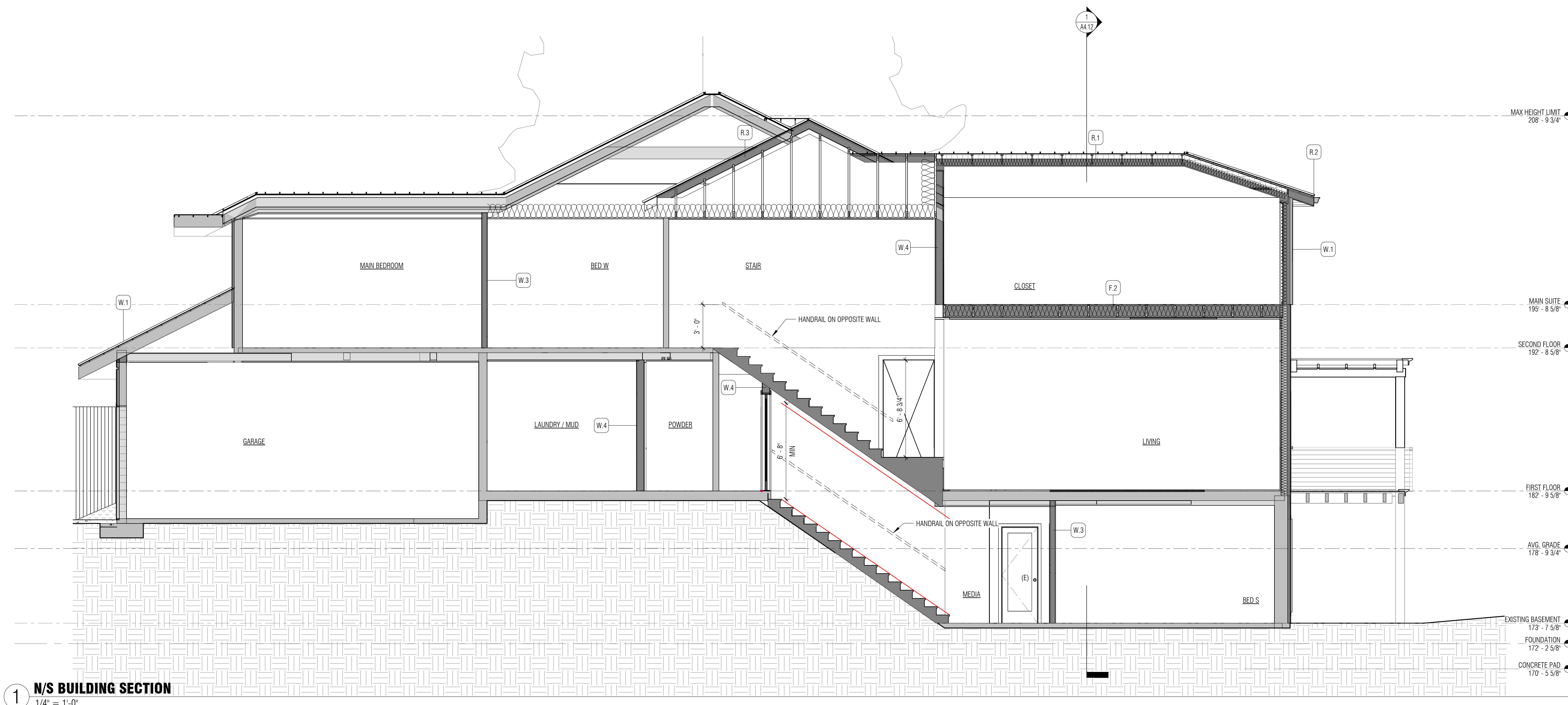
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

BUILDING SECTIONS

SHEET NO.:

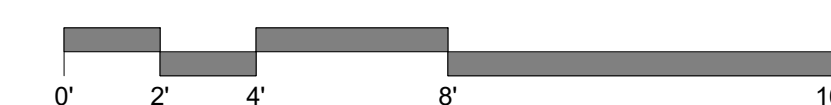
A4.11



1 N/S BUILDING SECTION
 1/4" = 1'-0"

SECTION NOTES

- SEE SHEET G0.01 FOR GENERAL INFORMATION, INCLUDING ENERGY CRITERIA SPECIFIC TO ENCLOSURE ASSEMBLIES.
- SEE SHEET A9.11 FOR ENCLOSURE ASSEMBLIES.





LEUNG RESIDENCE

PROJECT ADDRESS:
 9100 S.E. 78TH PLACE,
 MERGER ISLAND, WA 98040
 OWNER:
 KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES	DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL	

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 ORIGINAL SHEET SIZE IS 22"X34"

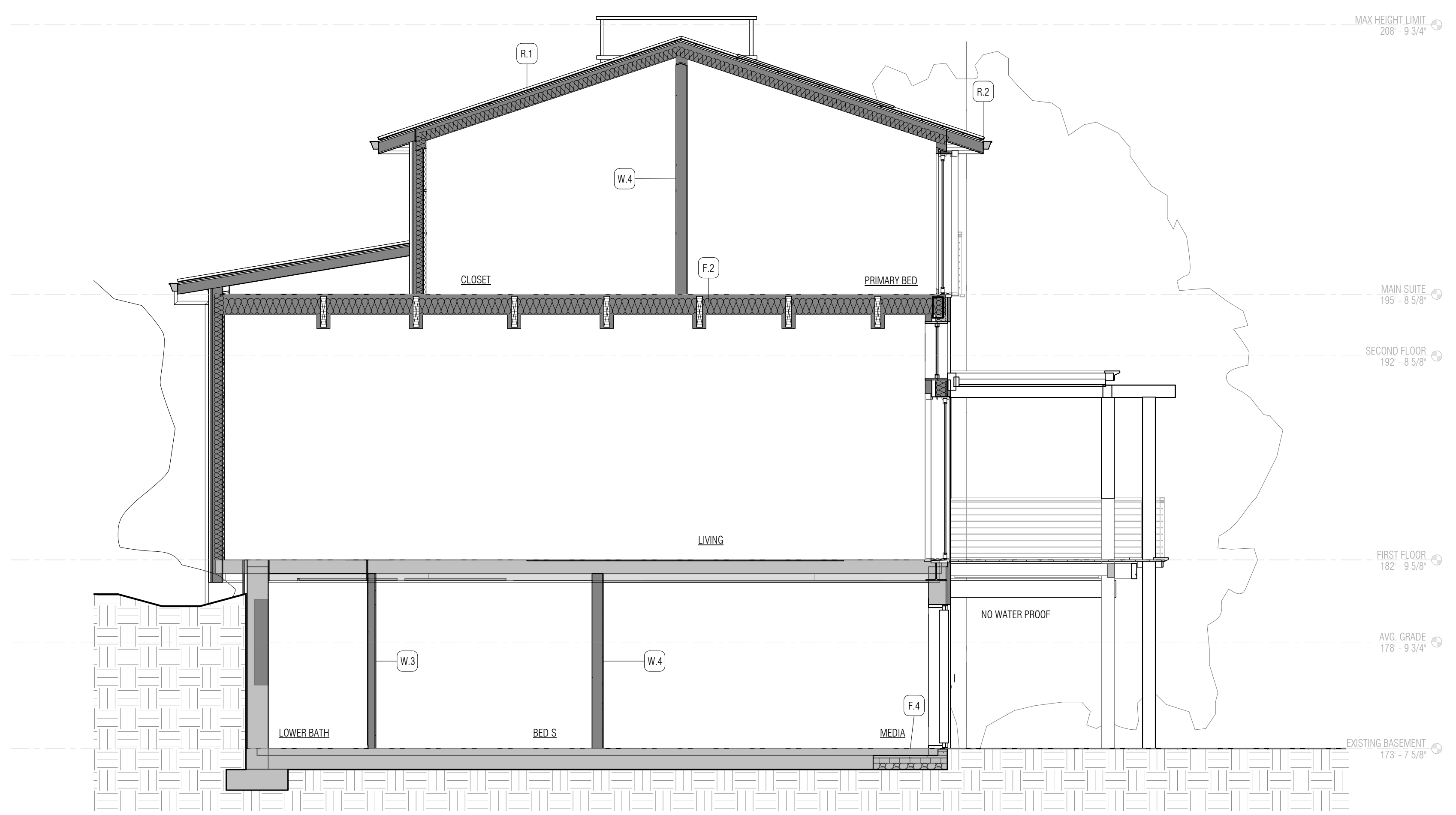
BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

BUILDING SECTIONS

SHEET NO.:

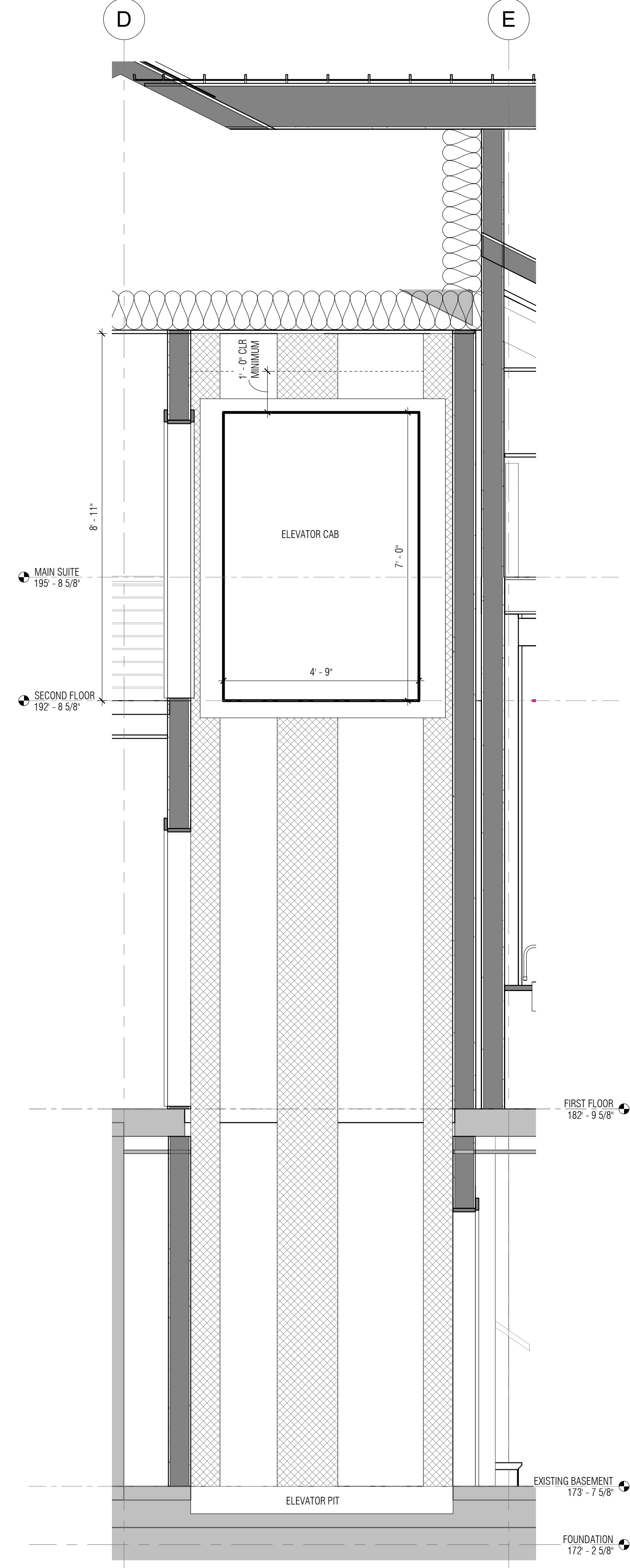
A4.12



1 E/W BUILDING SECTION
 1/4" = 1'-0"

SECTION NOTES

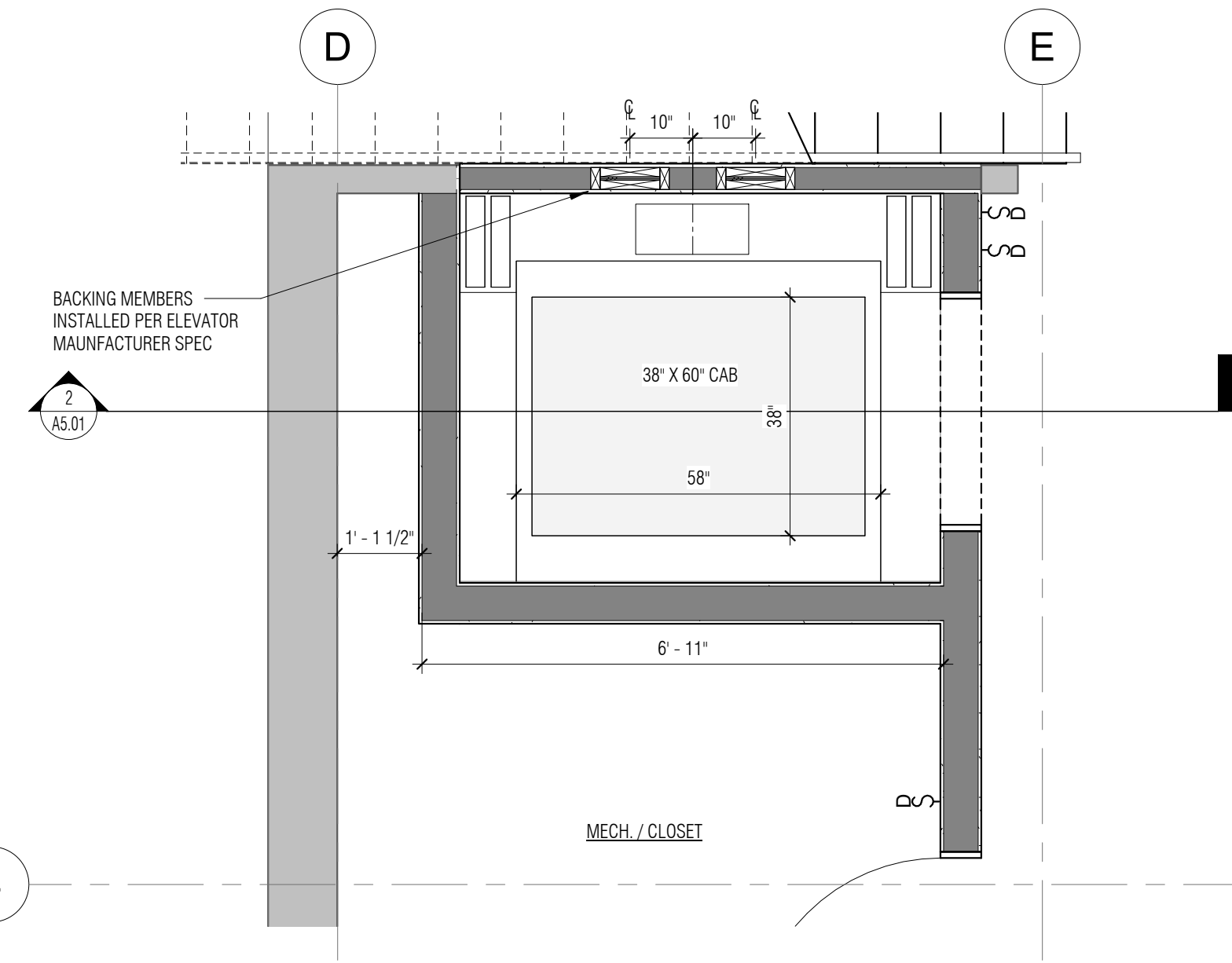
- SEE SHEET G0.01 FOR GENERAL INFORMATION, INCLUDING ENERGY CRITERIA SPECIFIC TO ENCLOSURE ASSEMBLIES.
- SEE SHEET A9.11 FOR ENCLOSURE ASSEMBLIES.



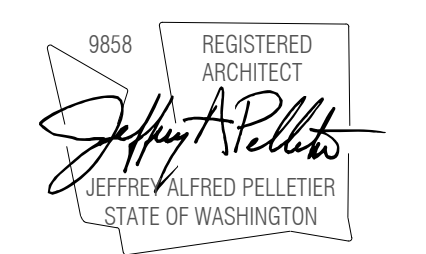
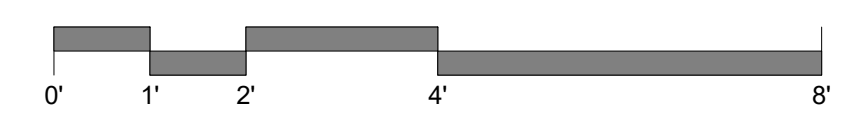
2 N/S ELEVATOR SECTION
1/2" = 1'-0"

ELEVATOR NOTES

- REFERENCE SYMMETRY ELEVATOR SPECIFICATIONS FOR INSTALLATION. BASIC SPECIFICATIONS INCLUDE THE FOLLOWING:
- ELECTRICAL: IN-LINE GEAR DRIVE SYSTEM USING 208/230 VAC, 60 Hz, 20 AMP, SINGLE-PHASE POWER SUPPLY FOR MOTOR CONTROLLER.
 - PROVIDE CONNECTION TO GENERATOR FOR POWER OUTAGE
 - PASS-THROUGH DOOR ARRANGEMENT - THREE SPEED DOOR SYSTEM
 - CAR SIZE: 38" W X 60" L X 7'-0" H
 - PROVIDE A LAND LINE PHONE IN ELEVATOR
 - PROVIDE 3 STOPS PER SECTION DRAWING
 - FINISHES: INTERIOR CAB: WOOD PANELING AND RAILS WITH METAL HARDWARE, TILE FLOORING, POWDER-COATED METAL DOORS.
- RAIL BACKING & GENERAL HOISTWAY**
- PROVIDE ADEQUATE RAIL BACKING PER DRAWINGS. FOR VERTICAL SPANS BETWEEN FLOOR SYSTEMS THAT EXCEED 100', PLEASE CONSULT A STRUCTURAL ENGINEER. THE WALL MUST BE CAPABLE OF SUPPORTING THE STATIC ROLLER/RAIL LOADS WITHOUT DEFLECTING MORE THAN 1/8" INCH.
 - THE HOISTWAY MUST BE CONSTRUCTED SQUARE AND PLUMB WITHIN 1" INCH TOLERANCE THROUGHOUT.
 - THE HOISTWAY MUST BE FREE OF ANY OBSTRUCTIONS NOT RELATED TO THE OPERATION OF THE ELEVATOR. (I.E. SPRINKLERS, PIPES, DUCTS, ETC.)
 - THE STRUCTURE OF THE HOISTWAY MUST ALLOW FOR INSTALLATION OF A CHAIN HOIST TO TRANSFER MATERIALS DURING INSTALLATION.
 - PROVIDE HOISTWAY DOORS THAT ARE A MINIMUM OF 3'0" X 6'8" AND SOLID CORE CONSTRUCTION.
- PIT FLOOR**
- PROVIDE A PIT FLOOR AT A MINIMUM OF 6 INCHES (8 INCHES PREFERRED) FROM THE TOP OF THE FINISHED FLOOR TO THE HIGHEST POINT IN THE PIT. (NOTE: THREE SPEED CAR AND LANDING DOORS REQUIRE A MINIMUM OF 8 INCHES PIT DEPTH.)
 - PROVIDE A PIT FLOOR CAPABLE OF WITHSTANDING THE IMPACT LOAD OF 6,766 LBS. AND THE STATIC LOAD OF 3,840 LBS.
- OVERHEAD**
- PROVIDE A MINIMUM OVERHEAD OF 8'0" FOR A 7'0" INTERIOR CAR HEIGHT WITH A REMOTE MOUNTED CONTROLLER
 - PROVIDE A MINIMUM 8' X 8' ACCESS HATCH AT OR NEAR THE TOP OF THE HOISTWAY FOR MANUAL LOWERING.



1 ELEVATOR SHAFT PLAN
1/2" = 1'-0"



JURISDICTION STAMP AREA

LEUNG RESIDENCE

PROJECT ADDRESS:
9100 S.E. 78TH BLVD, J
MERCER ISLAND, WA 98040
OWNER:
KEVIN & NANCY LEUNG

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
2022.08.31	BUILDING PERMIT SUBMITTAL

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ORIGINAL SHEET SIZE: 8 1/2" X 11"

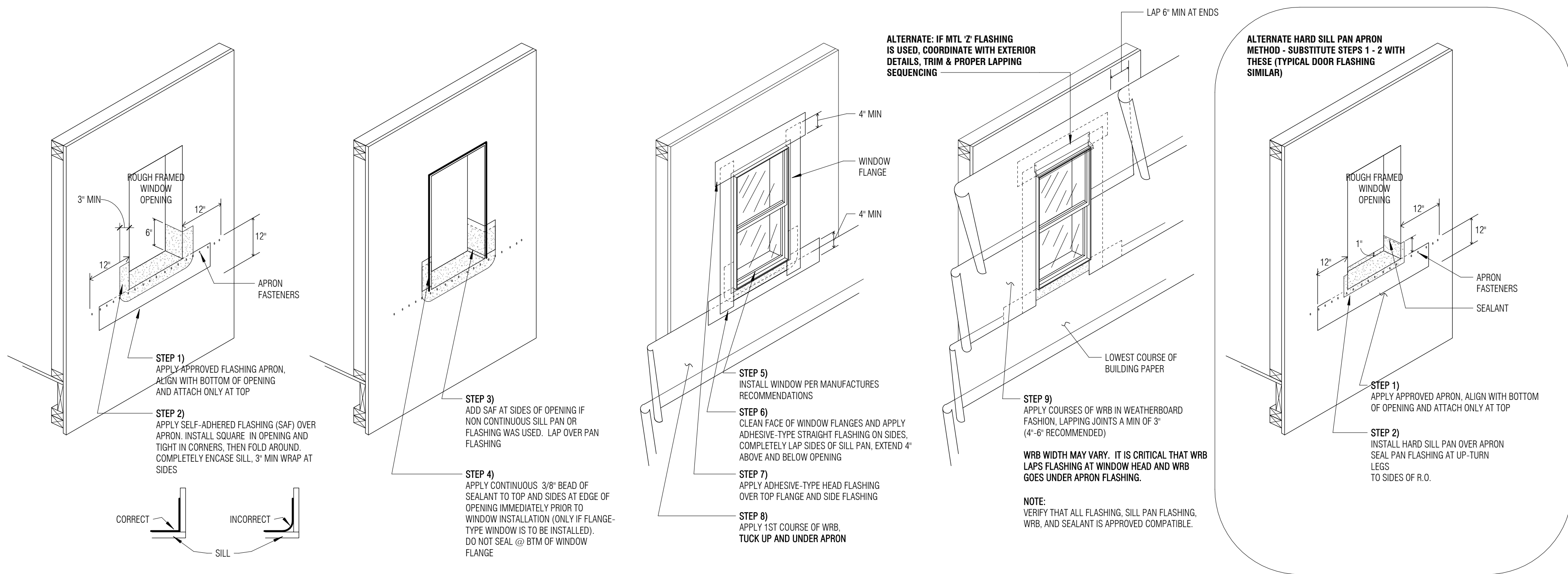
BOARD & VELLUM PROJECT #: 2021054.00
JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

VERTICAL CIRCULATION DETAILS

SHEET NO.:

A5.01



1 WINDOW FLASHING DETAIL (SIM @ DOOR FLASHING)
 3/8" = 1'-0"

WINDOW NOTES

- WINDOW HEAD HEIGHTS MEASURED FROM TOP OF CONCRETE SLAB OR TOP OF GYPCRETE TOPPING SLAB.
- WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL WINDOW SIZES BEFORE FRAMING OPENINGS.
- PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.
- ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY (CONSULT WITH ARCHITECT AS NECESSARY).
- SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION.
- CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.
- SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

WINDOWS - MAIN HOUSE

MARK	WIDTH	HEIGHT	Sill Height	LOCATION	EGRESS	U-FACTOR	SAFETY GLAZING TAG	Operation
EXISTING BASEMENT								
001	2'-1"	7'-1"	0'-0"	MEDIA		0.30	SG	FIXED
002	2'-1"	7'-1"	0'-0"	MEDIA		0.30	SG	FIXED
003	2'-1"	7'-1"	0'-0"	MEDIA		0.30		FIXED
004	2'-1"	7'-1"	0'-0"	MEDIA		0.30	SG	FIXED
005	3'-1"	7'-1"	0'-6"	BED S				CASEMENT LEFT
006	3'-1"	7'-1"	0'-6"	BED S				CASEMENT LEFT
007	3'-1"	7'-1"	0'-6"	BED S	●			CASEMENT LEFT
FIRST FLOOR								
101	2'-1"	9'-3"	0'-0 3/4"	ENTRY		0.30	SG	FIXED
102	2'-1"	9'-3"	0'-0 3/4"	ENTRY		0.30	SG	FIXED
103	8'-7"	7'-1"	2'-0"	ENTRY		0.30		FIXED
104	6'-1"	9'-1"	3'-0"	KITCHEN		0.30		FIXED
105	1'-7"	5'-1"	3'-0"	KITCHEN		0.30		CASEMENT RIGHT
106	5'-1"	9'-1"	0'-0"	LIVING		0.30	SG	FIXED
107	2'-3"	4'-8 1/2"	8'-9"	LIVING		0.30		FIXED
108	2'-3"	4'-8 1/2"	8'-9"	LIVING		0.30		FIXED
109	2'-3"	4'-8 1/2"	8'-9"	LIVING		0.30		FIXED
110	2'-3"	4'-8 1/2"	8'-9"	LIVING		0.30		FIXED
111	2'-3"	4'-8 1/2"	8'-9"	LIVING		0.30		FIXED
112	2'-3"	4'-8 1/2"	8'-9"	LIVING		0.30		FIXED
113	13'-1"	9'-1"	0'-0"	DINING		0.30	SG	FIXED
115	2'-3"	4'-8 1/2"	5'-1 3/4"	GARAGE		0.30		FIXED
116	2'-3"	4'-8 1/2"	5'-1 3/4"	GARAGE		0.30		FIXED
117	2'-3"	4'-8 1/2"	5'-1 3/4"	GARAGE		0.30		FIXED
118	2'-3"	4'-8 1/2"	5'-1 3/4"	GARAGE		0.30		FIXED
119	2'-3"	4'-8 1/2"	5'-1 3/4"	GARAGE		0.30		FIXED
120	2'-7"	7'-1"	0'-0"	OFFICE		0.30	SG	FIXED
121	2'-7"	7'-1"	0'-0"	OFFICE		0.30	SG	FIXED
122	2'-7"	2'-0"	7'-0 1/2"	OFFICE		0.30	SG	FIXED
123	3'-7"	2'-0"	7'-0 1/2"	OFFICE		0.30	SG	FIXED
124	2'-7"	2'-0"	7'-0 1/2"	OFFICE		0.30	SG	FIXED
125	6'-1"	2'-5"	3'-8"	LAUNDRY / MUD		0.30		AWNING
SECOND FLOOR								
201	13'-1"	7'-5"	2'-0"	SITTING		0.30		CASEMENT SIDES
202	8'-7"	6'-7"	2'-0"	BATH A		0.30	SG	CASEMENT SIDES
203	5'-0 7/8"	5'-0 7/8"	3'-0"	BED W		0.30		CASEMENT
204	2'-6"	6'-1"	3'-6"	BATH		0.30	SG	CASEMENT LEFT
205	8'-7"	6'-1"	3'-6"	BED N	●	0.30		CASEMENT SIDES
212	8'-7"	6'-1"	1'-0"	BED N	●	0.30	SG	CASEMENT SIDES
MAIN SUITE								
208	5'-0 7/8"	4'-0 7/8"	3'-0"	CLOSET		0.30		FIXED
209	8'-1"	4'-1"	3'-0"	M BATH		0.30	SG	FIXED
210	5'-0 7/8"	4'-0 7/8"	3'-0"	M BATH		0.30	SG	CASEMENT
211	3'-7"	7'-1"	0'-0"	M BED		0.30	SG	CASEMENT SIDES

CASEMENT
FIXED

DOORS - MAIN HOUSE

MARK	DOOR SIZE			LOCATION	EXTERIOR	U FACTOR	NOTES
	Width	Height	Thickness				
EXISTING BASEMENT							
001	5'-0"	7'-0"	0'-1 3/4"	MEDIA	●	0.30	
002	5'-0"	7'-0"	0'-1 3/4"	MEDIA	●	0.30	
003	2'-6"	6'-8"	0'-1 3/8"	ELEV MECH			
004	2'-6"	6'-8"	0'-1 3/8"	LOWER BATH			
005	5'-0"	6'-8"	0'-1 3/8"	BED S			
006	2'-6"	6'-8"	0'-1 3/8"	BED S			
007	3'-0"	6'-8"	0'-0"	ELEV			
008	3'-0"	7'-0"	0'-1 3/4"	STORAGE	●		
009	9'-1 1/2"	7'-0"					
010	9'-1 1/2"	7'-0"					
011	14'-5 1/2"	7'-0"					
FIRST FLOOR							
101	3'-0"	9'-0"	0'-1 3/4"	LIVING	●	0.30	
102	2'-6"	6'-8"	0'-1 3/8"	PANTRY			
103	2'-6"	6'-8"	0'-1 3/4"	LIVING	●	0.30	
104	16'-4 1/2"	7'-11 1/4"	0'-2 1/4"			0.30	SLIDING DOOR ASSEMBLY
105	7'-0"	7'-0"	0'-0"	DINING			
106	8'-0"	7'-0"	0'-0"	HALL			
107	3'-0"	6'-8"	0'-0"	ELEV			
108	3'-6"	7'-0"	0'-1 3/4"	OFFICE	●	0.30	
111	2'-6"	6'-8"	0'-1 3/8"	LAUNDRY / MUD			
112	3'-6"	9'-0"	0'-0"	STAIR			
112	5'-0"	6'-8"	0'-1 3/8"	LAUNDRY / MUD			
113	2'-6"	6'-8"	0'-1 3/8"	LAUNDRY / MUD			
114	2'-4"	6'-8"	0'-1 3/8"	POWDER			
115	2'-6"	6'-8"	0'-1 3/8"	HALL			
116	5'-0"	6'-8"	0'-1 3/8"	FOYER			
MAIN SUITE							
210	4'-0"	8'-0"	0'-0"	VESTIBULE			
211	3'-0"	6'-8"	0'-1 3/8"	WALK IN CLOSET			
212	2'-10"	6'-8"	0'-1 3/8"	M BATH			
213	2'-6"	6'-8"	0'-1 3/8"	TOILET			
214	14'-6"	6'-10"	0'-2 1/4"				
SECOND FLOOR							
201	3'-0"	6'-8"	0'-0"	ELEV			CASED OPENING FOR ELEVATOR
202	3'-0"	6'-8"	0'-1 3/8"	LANDING			
203	2'-6"	6'-8"	0'-1 3/8"	MAIN BEDROOM			
204	2'-6"	6'-8"	0'-1 3/8"	MAIN BEDROOM			
205	2'-6"	6'-8"	0'-1 3/8"	BATH A			
206	2'-6"	6'-8"	0'-1 3/8"	BATH A			
207	3'-8"	7'-0"	0'-1 1/2"	VESTIBULE			
208	2'-10"	6'-8"	0'-1 3/8"	LINEN			
209	5'-0"	6'-8"	0'-1 3/8"	SITTING			

DOOR NOTES

- DOOR SCHEDULE INDICATES DOOR PANEL SIZE EXCEPT IN THE CASE OF UNIT DOORS, WHERE IT INDICATES FRAME OPENING SIZE. UNIT DOORS ARE NOTED IN SCHEDULE.
- VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
- ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY OPTIONS OF A DOOR.
- IN REMODELS, EXTERIOR DOOR SIZES INDICATED MAY BE APPROXIMATE. CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR ALL DOORS.
- PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS.
- ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
- ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
- SEE PROJECT SPECIFICATIONS FOR DOOR MANUFACTURER AND OTHER INFORMATION.
- ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY WEATHERSTRIPPED.
- SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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2022.08.31 BUILDING PERMIT SUBMITTAL

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 ORIGINAL SHEET SIZE: 9'x24"

BOARD & VELLUM PROJECT #: 2021054.00
 JURISDICTION PROJECT #: TBD

PLOT DATE: 2022.08.22

ASSEMBLIES

SHEET NO.:

ROOF ASSEMBLIES

NOTE: ALL ASSEMBLIES ARE LISTED FROM EXTERIOR TO INTERIOR, TOP TO BOTTOM, UNO.

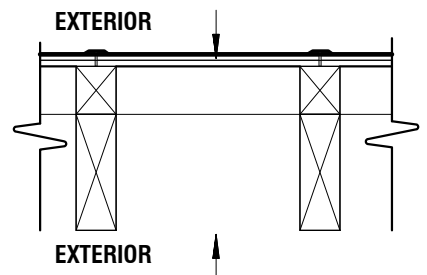
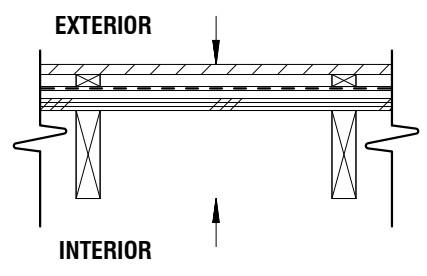
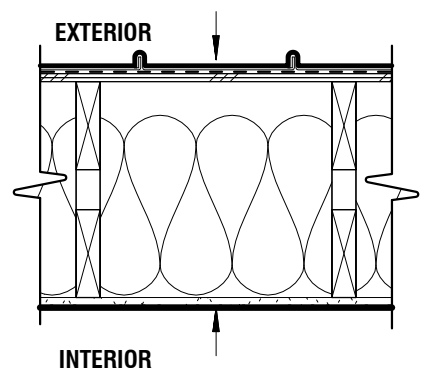
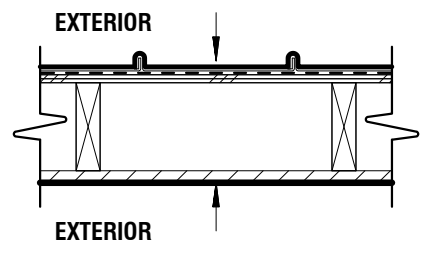
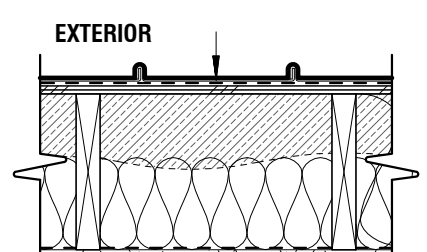
- R.1 VAULTED UNVENTED ROOF ASSEMBLY**
- STANDING SEAM METAL ROOFING
 - ROOF MEMBRANE - ICE & WATER SHIELD
 - SHEATHING PER STRUCTURAL
 - FRAMING PER STRUCTURAL
 - 4" MIN (R-20 MIN) SPRAY FOAM INSULATION
 - BATT (R-18 MIN) TO FILL REMAINING CAVITY
 - BARRIER PER SPEC
 - GYPSUM CEILING BOARD

- R.2 VENTED SLOPED ROOF EAVE ASSEMBLY**
- SS METL ROOF
 - ICE & WATER SHIELD
 - SHEATHING
 - FRAMING PER STRUCTURAL
 - CORA VENT OR SIMILAR
 - FASCIA BOARD TBD

- R.3 ATTIC ROOF ASSEMBLY**
- SS METL ROOF
 - ROOF MEMBRANE - ICE & WATER SHIELD
 - SHEATHING
 - VENTING PER ROOF PLAN
 - FRAMING PER STRUCTURAL - ATTIC TRUSSES
 - ATTIC INSULATION - R-49 MIN
 - GYPSUM BOARD CEILING FINISH

- R.4 DECK ASSEMBLY - WATER BARRIER**
- DECKING PER SPECIFICATIONS
 - SLOPING SLEEPERS
 - MEMBRANE ROOFING
 - BUILT-UP SLOPE PER PLAN
 - SHEATHING PER STRUCTURAL
 - FRAMING PER STRUCTURAL

- R.5 PERGOLA ASSEMBLY**
- 1/4" POLYCARBONATE PER SPECIFICATION
 - GASKETED JOINT CAPS
 - SLOPED SLEEPERS - MAINTAIN 1/2" PER FOOT
 - FRAMING PER STRUCTURAL



WALL ASSEMBLIES

NOTE: ALL ASSEMBLIES ARE LISTED FROM TOP TO BOTTOM, EXTERIOR TO INTERIOR, UNO.

- W.1 EXTERIOR WALL ASSEMBLY**
- SIDING PER ELEVATIONS
 - 1X FURRING
 - TYPE III WRB PER SPECIFICATIONS
 - SHEATHING PER STRUCTURAL
 - 2x6 FRAMING, UNO
 - R-21 INSULATION PER SPECIFICATIONS
 - AIR & TYPE III VAPOR BARRIER PER SPEC
 - GYPSUM WALL BOARD

- W.2 EXTERIOR RAINSCREEN & FINISH (EXISTING WALL)**
- SIDING PER ELEVATIONS
 - 1X FURRING
 - TYPE III WRB PER SPECIFICATIONS
 - SHEATHING PER STRUCTURAL
 - EXISTING WALL FRAMING
 - ADD R-21 INSULATION PER SPECIFICATIONS
 - EXISTING WALL SUBSTRATE

- W.3 INTERIOR WALL ASSEMBLY**
- FINISH PER SPECIFICATIONS
 - GYPSUM WALL BOARD
 - 2x4 FRAMING, UNO
 - ACOUSTIC INSULATION PER PLANS
 - GYPSUM WALL BOARD
 - FINISH PER SPECIFICATIONS

- W.4 INTERIOR WALL ASSEMBLY**
- FINISH PER SPECIFICATIONS
 - GYPSUM WALL BOARD
 - 2x6 FRAMING, UNO
 - ACOUSTIC INSULATION PER PLANS
 - GYPSUM WALL BOARD
 - FINISH PER SPECIFICATIONS

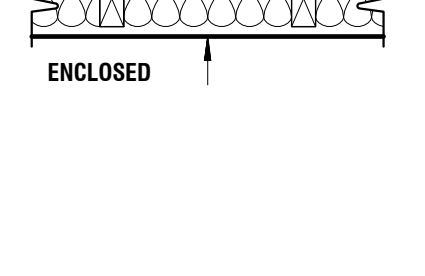
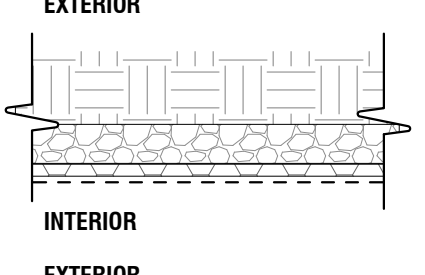
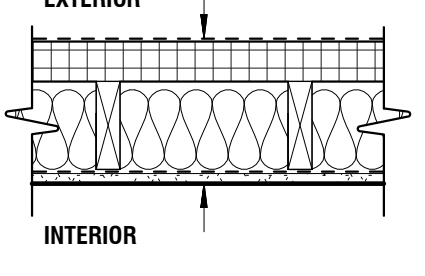
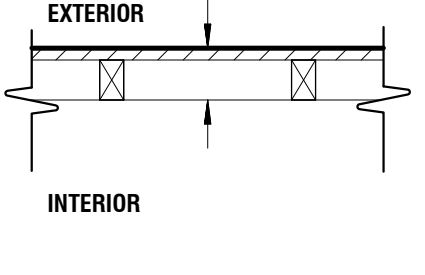
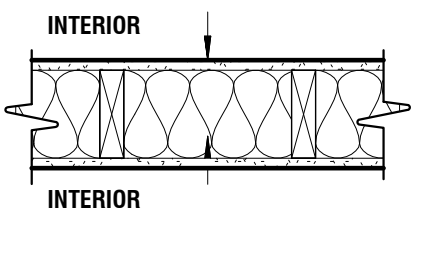
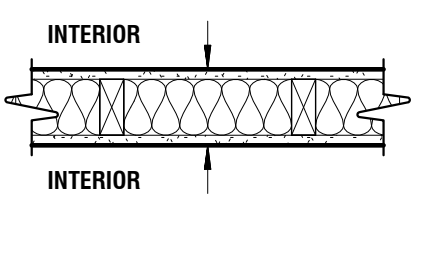
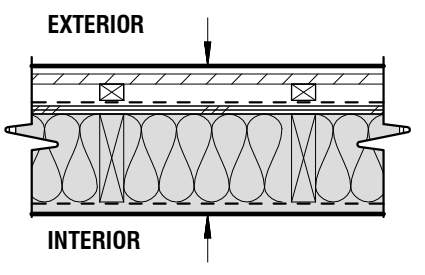
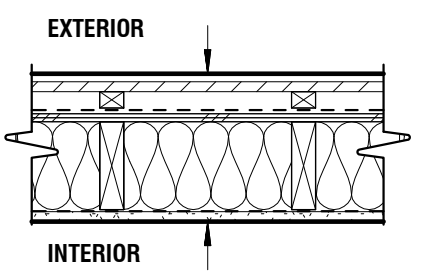
- W.5 EXTERIOR SCREEN WALL (UNCONDITIONED)**
- SIDING PER ELEVATIONS
 - INFILL FRAMING
 - FINISH PER SPECIFICATIONS

- W.6 - EXTERIOR FOUNDATION FURRING**
- (EXISTING OR NEW CONCRETE WALL PER STRUCTURAL)
 - CONTROL BARRIER PER SPEC
 - 2" MIN XPS (R-10 MIN)
 - 1" AIR GAP
 - 2X6 FRAMING
 - R-21 BATT INSULATION
 - VAPOR BARRIER PER SPEC
 - GYPSUM WALL BOARD

- W.7 - FOUNDATION CONTROL LAYERS**
- UNDISTURBED EARTH OR BACKFILL PER LOCATION
 - CAPILLARY BREAK, GRAVEL DRAINAGE LAYER
 - DRAINAGE MAT WITH GEOTEX FABRIC
 - WATER CONTROL LAYER (BENTONITE)

- W.8 - CONCRETE WALL**
- CONCRETE WALL PER STRUCTURAL
 - FINISH PER SPECIFICATION

- W.9 NEW INTERIOR WALL ASSEMBLY - FURRING**
- FINISH PER SPECIFICATIONS
 - GYPSUM WALL BOARD
 - 2x4 FRAMING, UNO
 - ACOUSTIC INSULATION PER PLANS
 - 1/2" SHIM SPACING PER SUBSTRATE



FLOOR ASSEMBLIES

NOTE: ALL ASSEMBLIES ARE LISTED FROM EXTERIOR TO INTERIOR, TOP TO BOTTOM, UNO.

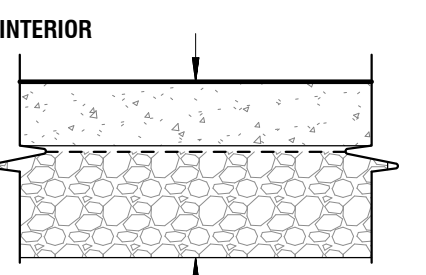
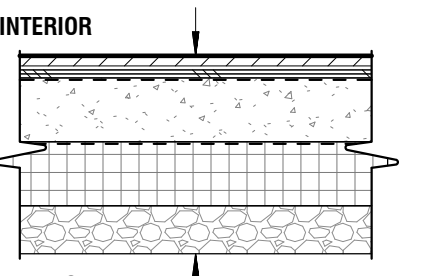
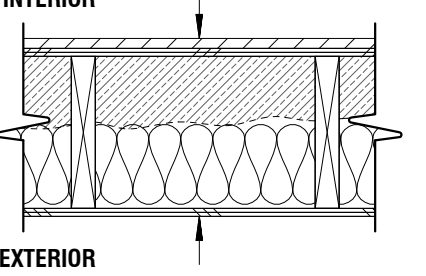
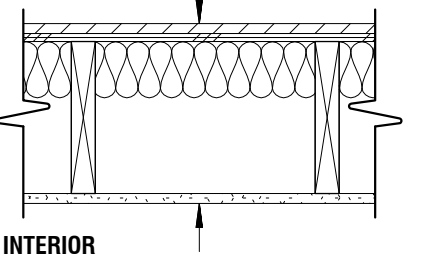
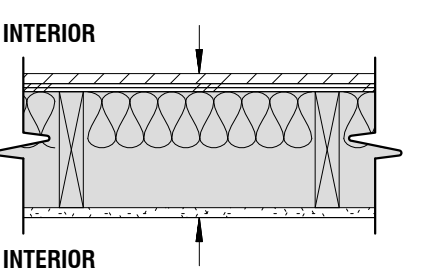
- F.1 EXISTING FLOOR ASSEMBLY**
- FINISH PER SPECIFICATION
 - EXISTING FLOOR ASSEMBLY
 - ADD ACOUSTICAL INSULATION AS SHOWN
 - GYPSUM CEILING BOARD

- F.2 NEW FLOOR ASSEMBLY**
- FINISH PER SPECIFICATION
 - PLYWOOD SUBFLOOR
 - FRAMING PER STRUCTURAL
 - ACOUSTICAL INSULATION AS SHOWN
 - GYPSUM CEILING BOARD

- F.3 NEW INSULATED FLOOR ASSEMBLY**
- FINISH PER SPECIFICATION
 - PLYWOOD SUBFLOOR PER STRUCTURAL
 - FRAMING PER STRUCTURAL
 - R-38 MIN. SPRAY (R-20 MIN) + BATT INSULATION
 - PLYWOOD SOFFIT + FINISH PER SPECIFICATION

- F.4 - NEW INSULATED CONCRETE SLAB FLOOR ASSEMBLY**
- FINISH PER SPECIFICATION
 - SUBFLOOR
 - CONTROL BARRIER
 - CONCRETE SLAB PER STRUCTURAL
 - R-10 MIN. INSULATION
 - GRAVEL

- F.5 - NEW CONCRETE SLAB FLOOR ASSEMBLY**
- CONCRETE SLAB PER STRUCTURAL - FINISH PER SPECIFICATION
 - CONTROL BARRIER
 - GRAVEL (CAPILLARY BREAK PER GEOTECH REPORT)



GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

29. **GLUED LAMINATED MEMBERS** SHALL BE FABRICATED AND IDENTIFIED AS REQUIRED BY ASTM D3737 AND AITC A190.1. EACH MEMBER SHALL BEAR AN AITC IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC CERTIFICATE OF CONFORMANCE. ALL GLUED LAMINATED MEMBERS SHALL CONFORM TO APA PERFORMANCE STANDARD PRG-905. UNLESS OTHERWISE NOTED ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, $F_b = 2,400$ PSI, $F_v = 265$ PSI, $E = 1,800,000$ PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, $F_b = 2,400$ PSI, $F_v = 265$ PSI, $E = 1,800,000$ PSI.

WHERE REQUIRED BEAMS AND COLUMNS SHALL BE PRESSURE TREATED AFTER MANUFACTURE IN ACCORDANCE WITH AMERICAN WOOD-PRESERVATIVES ASSOCIATION STANDARD U1.

30. **LAMINATED VENEER LUMBER (LVL)**: EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, PRODUCT DESIGNATION OR TYPE, THE PRODUCTION DATE, SPECIES OR SPECIES GROUP DESIGNATION, AND THE QUALITY CONTROL AGENCY. MEMBERS SHALL BE GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. STRUCTURAL CAPACITIES SHALL BE ESTABLISHED IN ACCORDANCE WITH ASTM D5456 AND PRODUCT SHALL HAVE AN APPROVED ICC-ES EVALUATION REPORT. MEMBERS SHALL BE TRANSPORTED AND STORED PER MANUFACTURERS RECOMMENDATIONS AND SHALL NOT BE EXPOSED TO PROLONGED MOISTURE. MINIMUM REQUIRED DESIGN PROPERTIES: $F_b = 2600$ PSI, $F_v = 285$ PSI, $E = 2,000,000$ PSI.

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY WEYERHAEUSER. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER, ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

31. **PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES** SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION", ANSI / TP 1-2014 FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

TOP CHORD LIVE LOAD	REFER TO DESIGN LOADING CRITERIA
MINIMUM TOP CHORD DEAD LOAD	10 PSF
MINIMUM BOTTOM CHORD DEAD LOAD	5 PSF
WIND UPLIFT (TOP CHORD)	VARIES, TO BE CALCULATED BY TRUSS MANUFACTURER REFER TO DESIGN LOADING CRITERIA

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANG-NAIL OR EQUAL) AND SHALL BE CONFIGURED SUCH THAT THE MAXIMUM OPENING BETWEEN MEMBERS DOES NOT EXCEED 42"x24". SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS MEETING THE REQUIREMENTS OF INTERNATIONAL BUILDING CODE SECTION 2303.4 TO THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING OFFICIAL FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC. SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS-TO-TRUSS AND TRUSS-TO-GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING. THE TRUSS MANUFACTURER SHALL COORDINATE LOCATIONS AND SUPPORT CONFIGURATIONS OF PLUMBING, MECHANICAL UNITS, DUCT WORK, AND OTHER MISCELLANEOUS ITEMS WITH THE CONTRACTOR PRIOR TO FABRICATION. TRUSSES SHALL BE DESIGNED TO SUPPORT ALL LOADS ASSOCIATED WITH SUCH ITEMS. THE TRUSS SHOP DRAWINGS SHALL INCLUDE ALL DESIGN LOADS AND APPROVED HANGER CONNECTION DETAILS TO TRUSS CHORDS FOR SUPPORT OF HUNG MECHANICAL SYSTEM COMPONENTS. ANY VARIATION FROM THE BEARING POINTS INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL.

32. **PLYWOOD SHEATHING** SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1-09 OR PS 2-18 AND AMERICAN PLYWOOD ASSOCIATION PERFORMANCE STANDARD PRP-108. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS. EACH PANEL SHALL BE IDENTIFIED FOR GRADE AND GLUE TYPE BY THE TRADEMARKS OF AN APPROVED TESTING AND GRADING AGENCY.

33. **ALL WOOD PLATES** IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE, PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC. AND CONCRETE OR MASONRY.

PRESSURE TREATED LUMBER SHALL COMPLY WITH THE AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) STANDARD U1, COMMODITY SPECIFICATION A AS INDICATED BELOW OR HAVE EQUIVALENT ICC-ES APPROVAL.

PROPOSED USE		AWPA USE CATEGORY
RESIDENTIAL DECKS	DECKING	3B
	JOISTS ABOVE GROUND	3B
	JOISTS IN CONTACT WITH GROUND	4A
	POSTS	4A
	RAILING	3B
SAWN LUMBER	LEDGERS	3B
	ABOVE GROUND	3B
	GROUND CONTACT	4A
	PLYWOOD	DAMP ABOVE GROUND
EXTERIOR ABOVE GROUND		3B
GROUND CONTACT		4A
SILL PLATES	IN CONTACT WITH CONCRETE OR MASONRY	2
	INTERIOR LEDGERS	IN CONTACT WITH CONCRETE OR MASONRY 2

ALL TREATED LUMBER SHALL BEAR THE QUALITY MARK OF AN ACCREDITED INSPECTION AGENCY. THE QUALITY MARK SHALL INCLUDE:

- IDENTIFICATION OF TREATING MANUFACTURER
- TYPE OF PRESERVATIVE USED
- MINIMUM PRESERVATIVE RETENTION (PCF)
- END USE FOR WHICH THE PRODUCT IS TREATED
- IDENTITY OF THE ACCREDITED INSPECTION AGENCY
- STANDARD TO WHICH THE PRODUCT IS TREATED

34. **TIMBER CONNECTORS** CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER TO ACHIEVE THE MAXIMUM PUBLISHED ALLOWABLE LOAD. ALL CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. SHIMS, WHERE REQUIRED, SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. ALL LAG SCREWS SHALL BE INSTALLED IN PRE-DRILLED HOLES.

UNLESS NOTED OTHERWISE ALL SAWN LUMBER JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS AND ALL PREFABRICATED PLYWOOD WEB JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "IUS" SERIES JOIST HANGERS.

ALL CONNECTIONS/FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED OR FIRE-RETARDANT-TREATED WOOD, SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL. HOT DIPPED GALVANIZED FASTENERS SHOULD CONFORM TO ASTM STANDARD 153, AND HOT DIPPED GALVANIZED CONNECTORS SHOULD CONFORM TO ASTM STANDARD A653 (CLASS G-185). STAINLESS STEEL FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316. NOTE: ELECTROPLATED GALVANIZED FASTENERS AND CONNECTORS ARE NOT TO BE USED WITH PRESSURE TREATED WOOD. SIMPSON PRODUCT FINISHES CORRESPONDING TO THE ABOVE REQUIREMENTS ARE ZMAX (HOT DIPPED GALVANIZED) AND SST300 (STAINLESS STEEL). STAINLESS STEEL HARDWARE AND FASTENERS SHALL NOT BE COMBINED WITH UNTREATED OR GALVANIZED MATERIAL.

35. **WOOD FASTENERS:**

- A. **NAIL SIZES** SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2'	0.113"
8d	2-1/2'	0.131"
10d	3'	0.148"
12d	3-1/4'	0.148"
16d	3-1/2'	0.162"

DESIGN IS BASED ON COMMON STEEL WIRE NAILS MEETING THE REQUIREMENTS OF ASTM F1667. USE OF ALTERNATE FASTENERS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.

- B. **NAILS** — PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

36. **WOOD FRAMING NOTES** — THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE AS SPECIFIED ABOVE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. INSTALLATION OF BOLTS AND LAG SCREWS SHALL CONFORM TO SECTIONS 12.1.3 AND 12.1.4 OF THE 2018 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. NATURALLY DURABLE OR PRESSURE TREATED WOOD SHALL BE PROVIDED WHERE REQUIRED BY SECTION 2304.12 OF THE INTERNATIONAL BUILDING CODE.

- B. **WALL FRAMING:** ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X6 AT 16" O.C. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. TWO 2 x 8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED AND SHALL BEAR FULLY ON A MINIMUM OF TWO STUDS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE SOLID BLOCKING BETWEEN STUDS AT MID_HEIGHT OF ALL STUD WALLS OVER 10' IN HEIGHT.

STUDS MAY BE NOTCHED, CUT, OR PENETRATED WITH ROUND BORED HOLES AS FOLLOWS:

STUD SIZE	MAXIMUM NOTCH / CUT	MAXIMUM BORED HOLE
2X4	7/8"	1-3/8"
2X6	1-3/8"	2-1/8"

BORED HOLES SHALL NOT BE LOCATED WITH 5/8" FROM THE EDGE OF THE STUD OR AT THE SAME LOCATION AS A NOTCH OR CUT.

WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d AT 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS AT 4" O.C. EACH SIDE OF JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 12" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) @ 4'-0" O.C. UNLESS INDICATED OTHERWISE. PROVIDE 3"x3" x1/4" HOT-DIPPED GALVANIZED PLATE WASHERS AT ALL ANCHOR BOLTS. INDIVIDUAL MEMBERS OF BUILT_UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16d NAILS @ 12" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 7" O.C. USE 5d COOLER NAILS FOR 1/2" GWB AND 6d COOLER NAILS FOR 5/8" GWB. PROVIDE 15/32" APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH 8d NAILS @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH NAILS @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

- C. **FLOOR AND ROOF FRAMING:** PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

NOTCHES AT THE END OF JOISTS AND RAFTERS SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER. NOTCHES IN THE TOP OR BOTTOM SHALL NOT EXCEED 1/6 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN THE MIDDLE 1/3 OF THE SPAN. THE DIAMETER OF ROUND HOLES BORED IN JOISTS AND RAFTERS SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN 2" FROM THE TOP OR BOTTOM EDGE.

TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI_JOIST BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12" O.C. ATTACH RAFTERS AND ROOF TRUSSES AT BEARING LINES WITH H2.5 @ 24" O.C. UNLESS OTHER METAL CONNECTIONS ARE INDICATED.

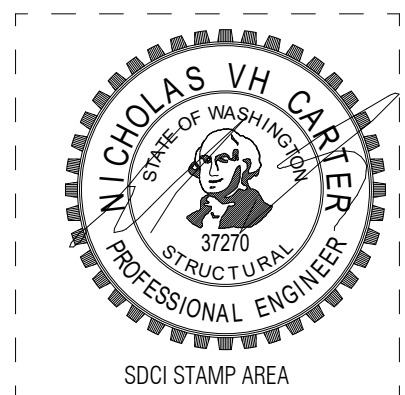
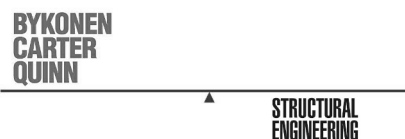
UNLESS OTHERWISE NOTED ON THE PLANS, APA RATED ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND ATTACHED WITH 10d NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O.C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE AND GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF ALL ROOF AND FLOOR SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d NAILS @ 12" O.C. UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND FASTEN SHEATHING TO FRAMING/BLOCKING AS SPECIFIED.

TONGUE AND GROOVE STRUCTURAL ROOF AND FLOOR DECKING SHALL BE INSTALLED AS FOLLOWS:

- B. 3X AND 4X DECKING SHALL BE TOENAILED WITH ONE 40d NAIL AND FACE NAILED WITH ONE 60d NAIL PER SUPPORT. COURSES SHALL BE SPIKED TOGETHER WITH 8" SPIKES AT 30" O.C. (MAXIMUM) AND AT 10" (MAXIMUM) FROM EACH END OF EACH PIECE. SPIKES SHALL BE INSTALLED IN PREDRILLED EDGE HOLES.

Board & Vellum
ARCHITECTURE AND DESIGN

115 15th Ave E, Suite 100 Seattle, WA 98112
info@boardandvellum.com | 206.707.8995



LEUNG RESIDENCE

PROJECT ADDRESS:
9102 SE 78TH PLACE
MERCER ISLAND, WA 98040

OWNER:
KEVIN & NANCY LEUNG

REVISION DATE DESCRIPTION

ISSUANCES

DATE DESCRIPTION

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ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021054.00

JURISDICTION PROJECT #:

PLOT DATE: 07.26.22

GENERAL STRUCTURAL NOTES

SHEET NO.:

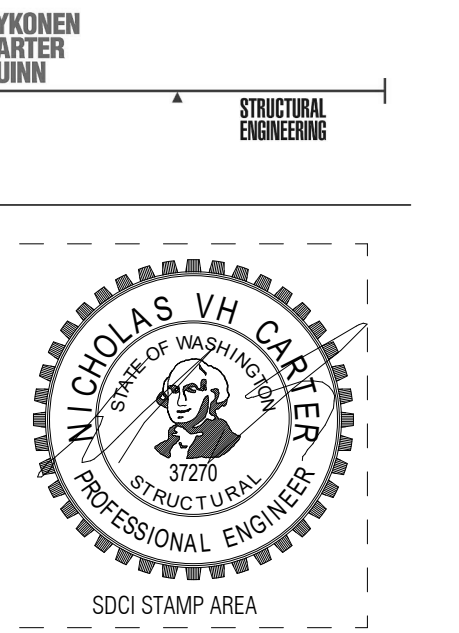
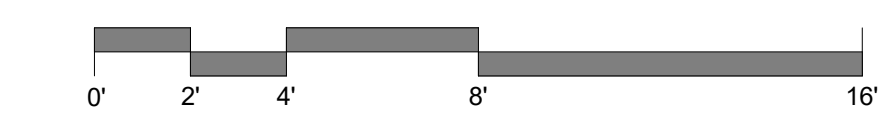
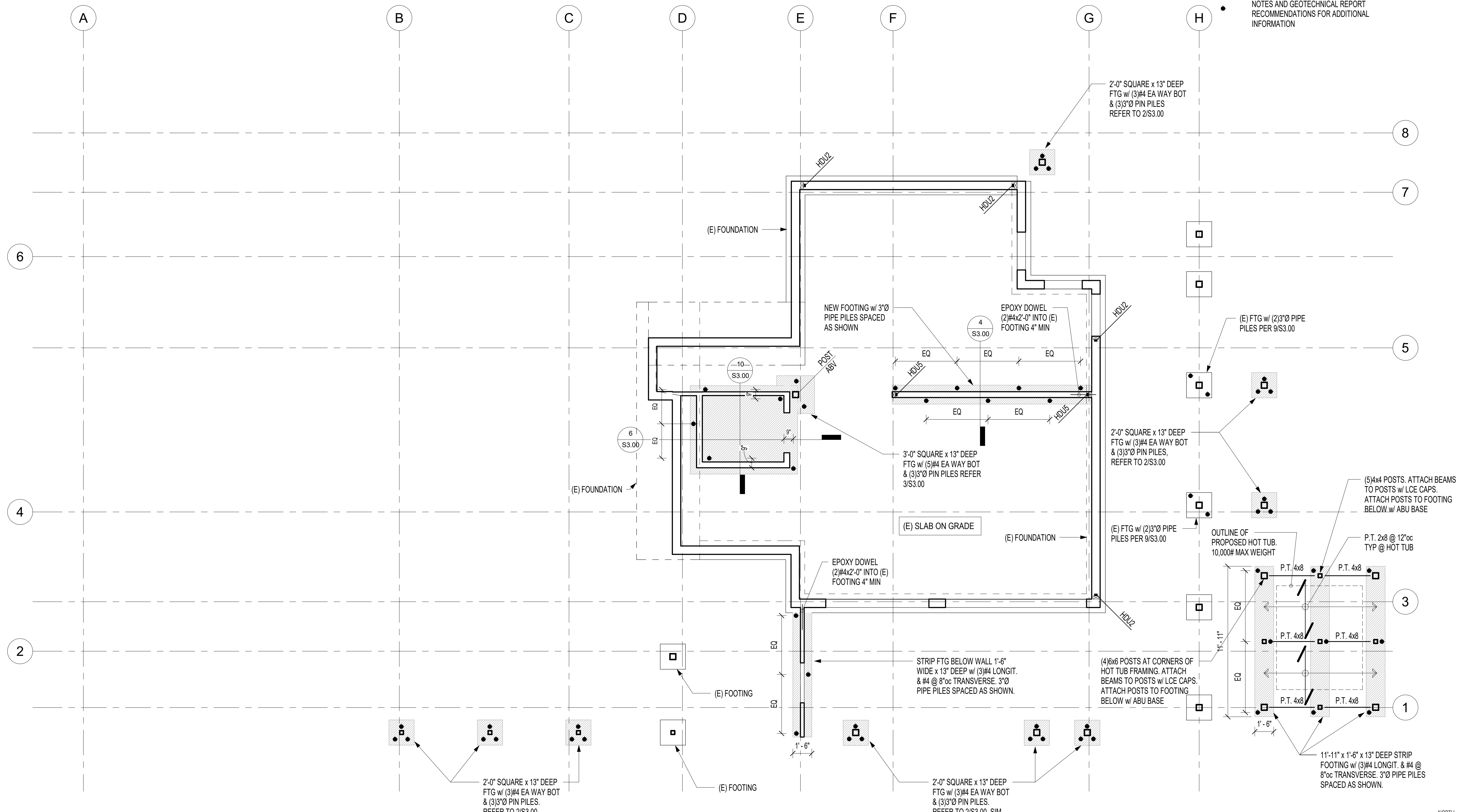
S1.01

FOUNDATION PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.
- SLABS ON GRADE SHALL BE 4" THICK WITH 6x6 W1.4xW1.4 W/M CENTERED, U.N.O. PREPARED SOILS AND PROVIDE MINIMUM 6-MIL VISQUEEN VAPOR BARRIER UNDER ALL SLABS.
- SLABS ON GRADE SHALL BE SUPPORTED ON 12" COMPACTED STRUCTURAL FILL OVER RE-COMPACTED NATIVE SOIL PER GEOTECHNICAL REPORT.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS AND TOP OF SLAB ELEVATIONS.

FRAMING PLAN LEGEND

- EXISTING FOOTING
- NEW FOOTING
- ABRUPT CHANGE IN SLAB/FRAMING ELEVATION
- INDICATES DETAIL X ON SHEET SX.XX
- INDICATES SIMPSON HOLD-DOWN. REFER TO HOLD-DOWN SCHEDULE (8/S3.00) FOR THREADED ROD CALL-OUT & EMBEDMENT INTO CONCRETE
- INDICATES 3"Ø PIN PILE. REFER TO GENERAL NOTES AND GEOTECHNICAL REPORT RECOMMENDATIONS FOR ADDITIONAL INFORMATION



LEUNG RESIDENCE
PROJECT ADDRESS:
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MERCER ISLAND, WA 98040
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JURISDICTION PROJECT #:
PLOT DATE: 07.26.22

FOUNDATION PLAN
SHEET NO.:

\$2.00

FOUNDATION PLAN NOTES

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3. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS AND TOP OF SLAB ELEVATIONS.

FRAMING PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE)

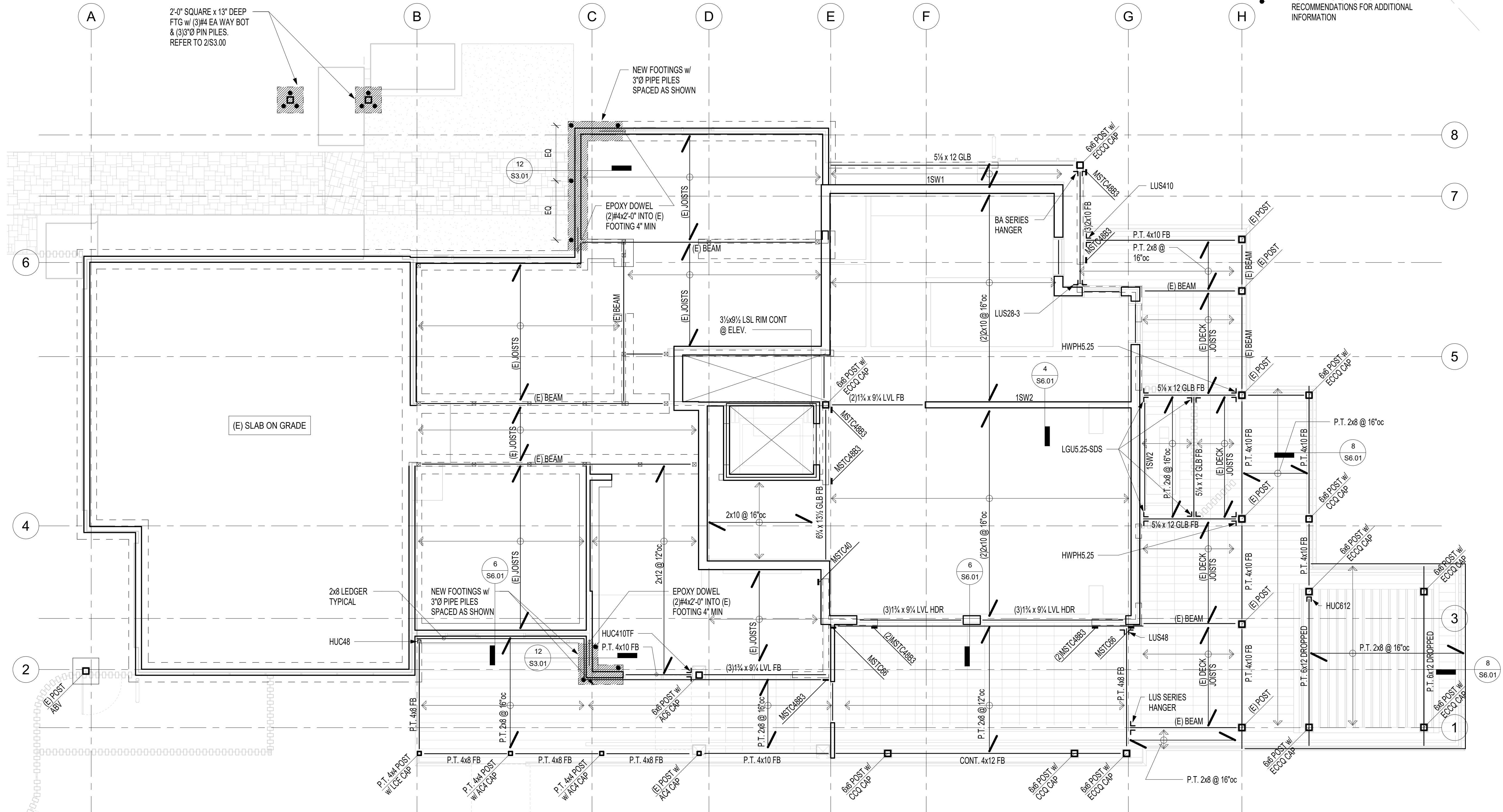
1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.
2. FLOOR SHEATHING SHALL BE 23/32" TONGUE AND GROOVE APA RATED SHEATHING (SPAN RATING 40/20). NAIL AT ALL FRAMED PANEL EDGES AND OVER SHEAR WALLS w/ 10d @ 6"oc AND 12"oc TO ALL INTERMEDIATE FRAMING
3. ROOF SHEATHING SHALL BE 15/32" APA RATED SHEATHING (SPAN RATING 24/0). NAIL AT ALL FRAMED PANEL EDGES AND OVER SHEAR WALLS w/ 8d @ 6"oc AND 12"oc TO ALL INTERMEDIATE FRAMING. 1SWX INDICATES SINGLE-SIDED SHEAR WALL PER SCHEDULE 12/S6.00.
4. ALL HEADERS SHALL BE (2)2x8 U.N.O. REFER TO NOTE 5 FOR SUPPORT REQUIREMENTS.
5. COLUMNS SHALL BE DOUBLE STUDS MINIMUM, U.N.O., WITH BEAM OR HEADER BEARING FULLY ON COLUMN.

FRAMING PLAN LEGEND

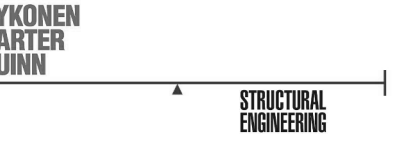
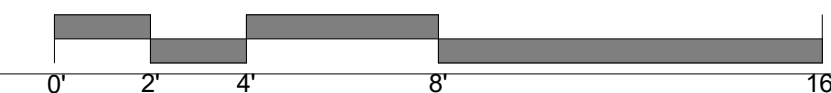
- WALLS BELOW
- WALLS ABOVE
- COLUMNS BELOW
- COLUMNS ABOVE
- HANGER
- ABRUPT CHANGE IN SLAB/FRAMING ELEVATION
- FB INDICATES FLUSH BEAM
- INDICATES DETAIL X ON SHEET SX.XX

FRAMING PLAN LEGEND

- EXISTING FOOTING
- NEW FOOTING
- ABRUPT CHANGE IN SLAB/FRAMING ELEVATION
- INDICATES DETAIL X ON SHEET SX.XX
- INDICATES SIMPSON HOLDOWN. REFER TO HOLDOWN SCHEDULE (8/S3.00) FOR THREADED ROD CALLOUT & EMBEDMENT INTO CONCRETE
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- INDICATES 3"Ø PIN PILE. REFER TO GENERAL NOTES AND GEOTECHNICAL REPORT RECOMMENDATIONS FOR ADDITIONAL INFORMATION



1 LEVEL 1 FRAMING PLAN
1/4" = 1'-0"



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LEVEL 1 FRAMING PLAN

SHEET NO.:

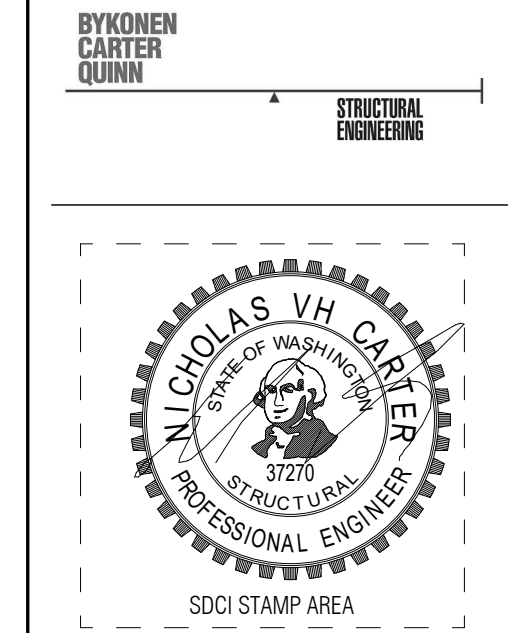
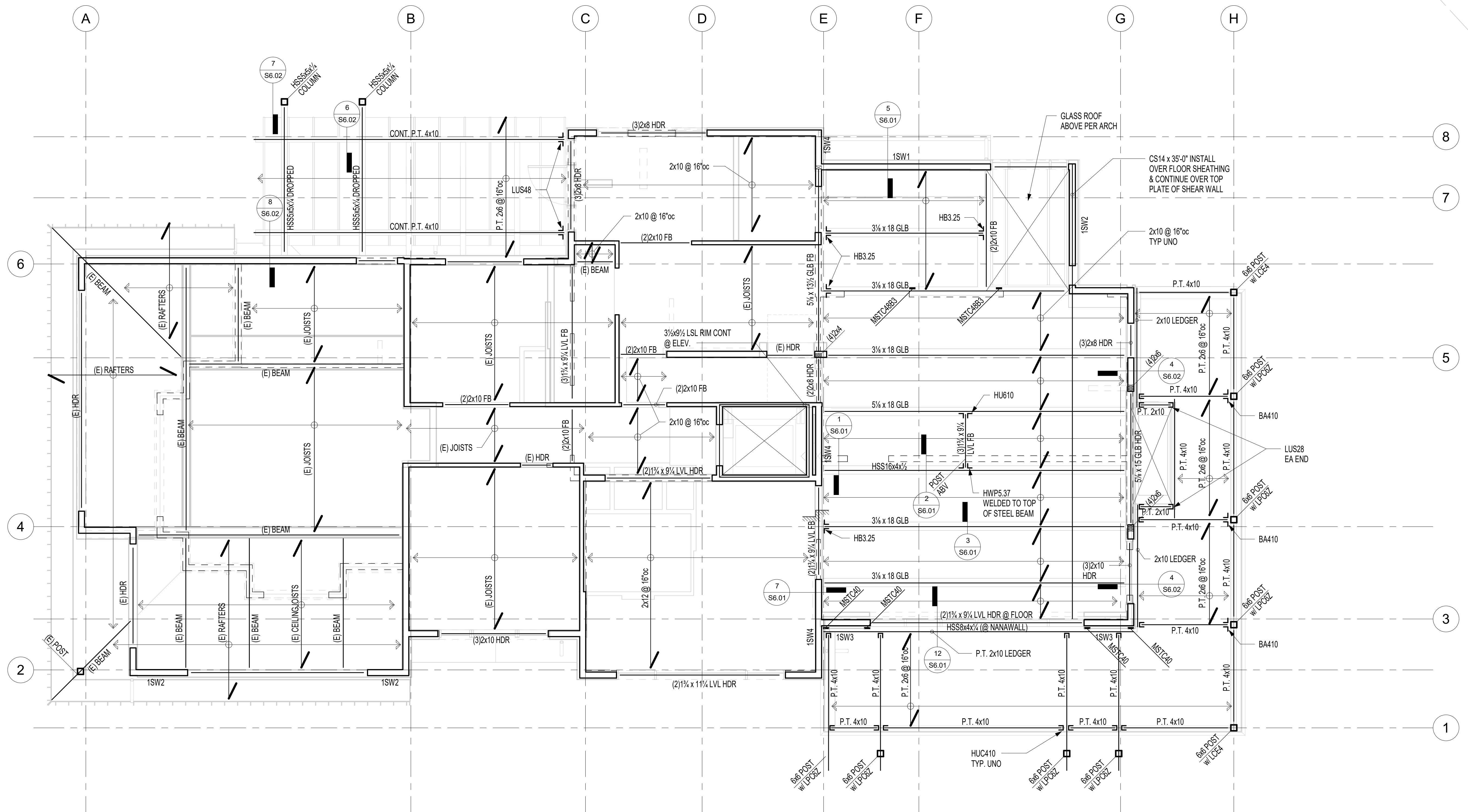
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FRAMING PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE)

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- ALL HEADERS SHALL BE (2)2x8 U.N.O. REFER TO NOTE 5 FOR SUPPORT REQUIREMENTS.
- COLUMNS SHALL BE DOUBLE STUDS MINIMUM, U.N.O., WITH BEAM OR HEADER BEARING FULLY ON COLUMN.

FRAMING PLAN LEGEND

- WALLS BELOW
- WALLS ABOVE
- COLUMNS BELOW
- COLUMNS ABOVE
- HANGER
- ABRUPT CHANGE IN SLAB/FRAMING ELEVATION
- INDICATES FLUSH BEAM
- INDICATES DETAIL X ON SHEET SX.XX
- FRAMING SPAN AND EXTENTS
- INDICATES SIMPSON HOLDOWN. REFER TO HOLDOWN SCHEDULE (8/S3.00) FOR THREADED ROD CALLOUT & EMBEDMENT INTO CONCRETE
- INDICATES SIMPSON STRAP HOLDOWN



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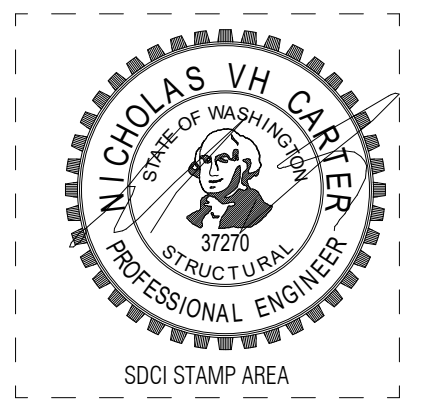
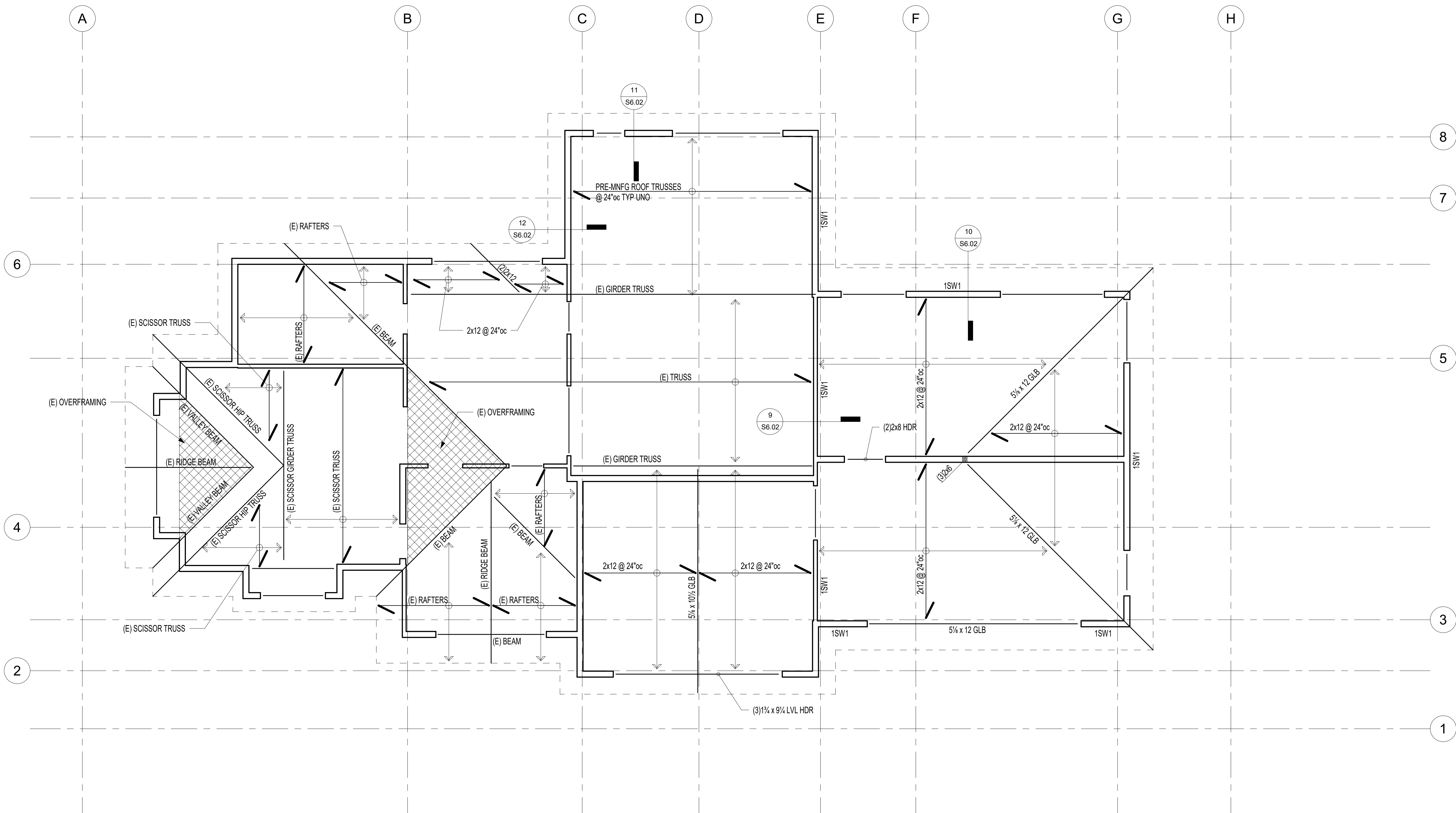
LEVEL 2 FRAMING PLAN
SHEET NO.:

FRAMING PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE)

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FRAMING PLAN LEGEND

	WALLS BELOW		FRAMING SPAN AND EXTENTS
	WALLS ABOVE		INDICATES SIMPSON HOLDOWN. REFER TO HOLDOWN SCHEDULE (8/S3.00) FOR THREADED ROD CALLOUT & EMBEDMENT INTO CONCRETE
	COLUMNS BELOW		INDICATES SIMPSON STRAP HOLDOWN
	COLUMNS ABOVE		
	HANGER		
	ABRUPT CHANGE IN SLAB/FRAMING ELEVATION		
	INDICATES FLUSH BEAM		
	INDICATES DETAIL X ON SHEET SX.XX		



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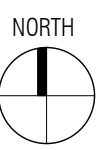
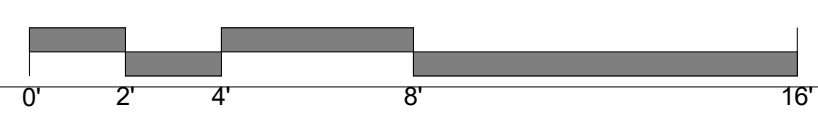
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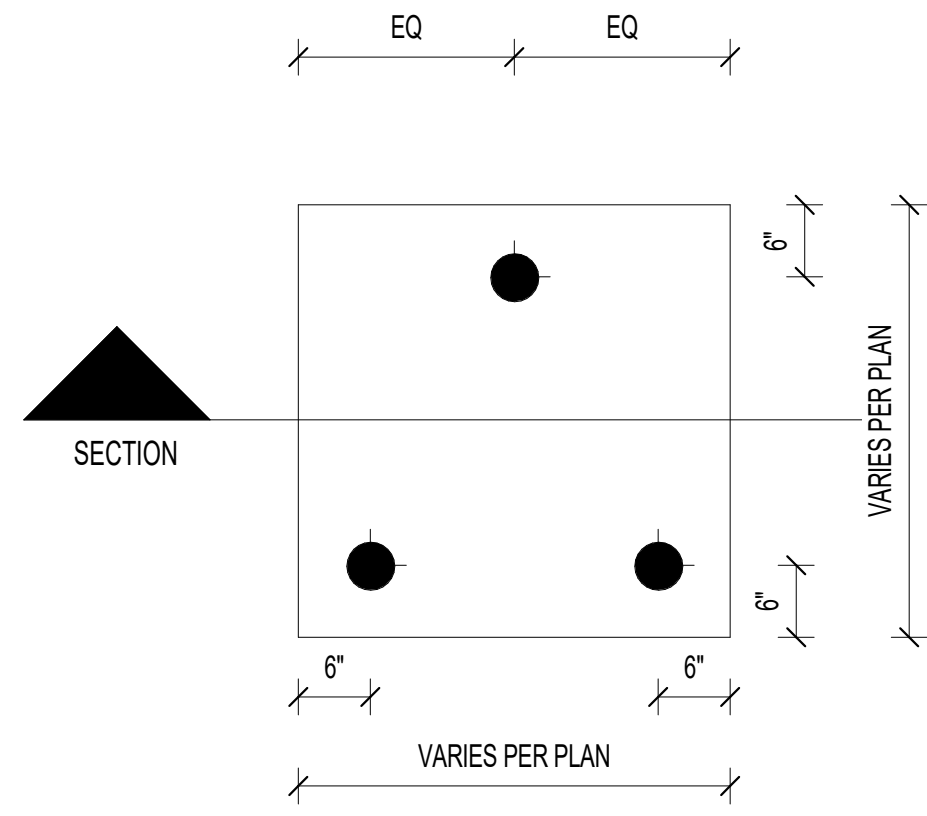
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ROOF FRAMING PLAN
SHEET NO.:

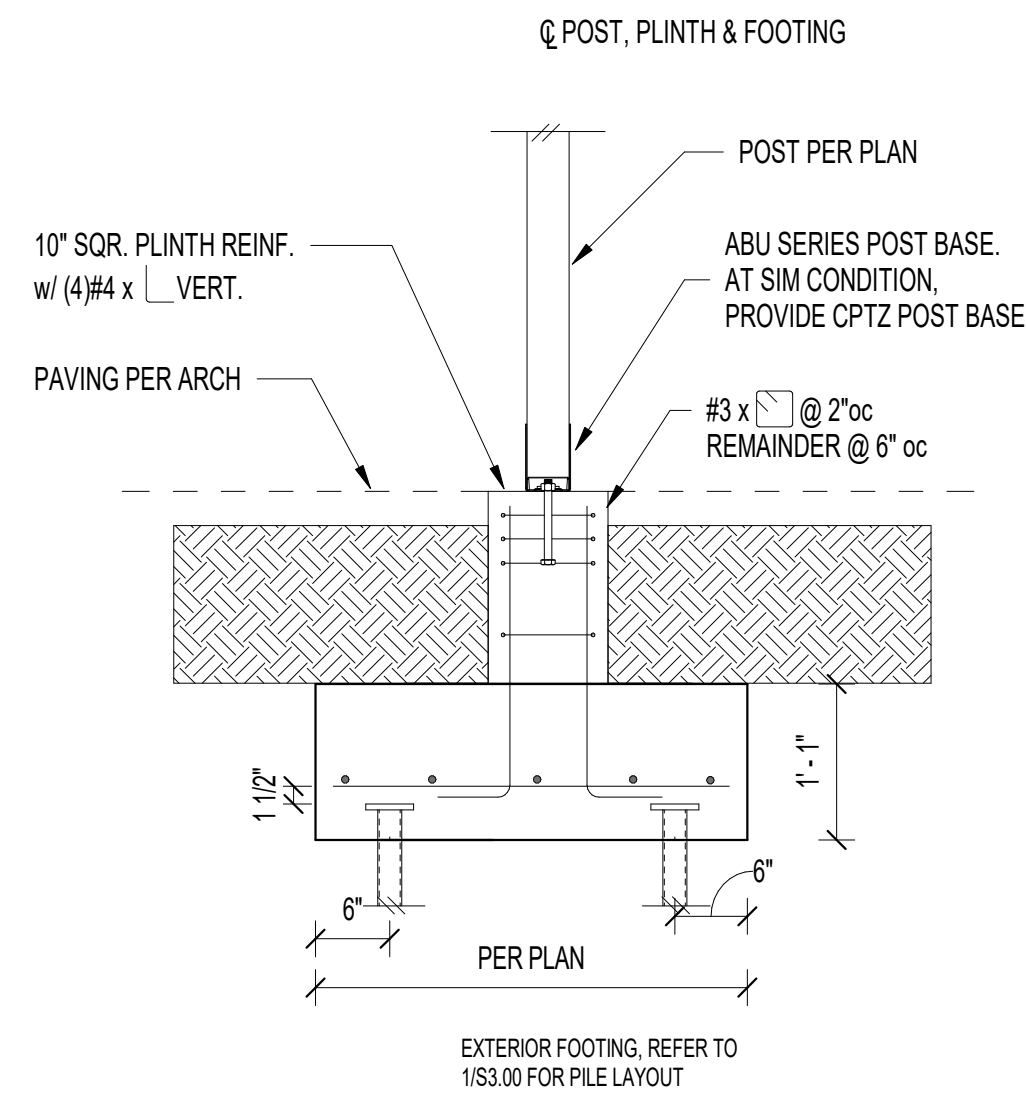
1 ROOF FRAMING PLAN
1/4" = 1'-0"



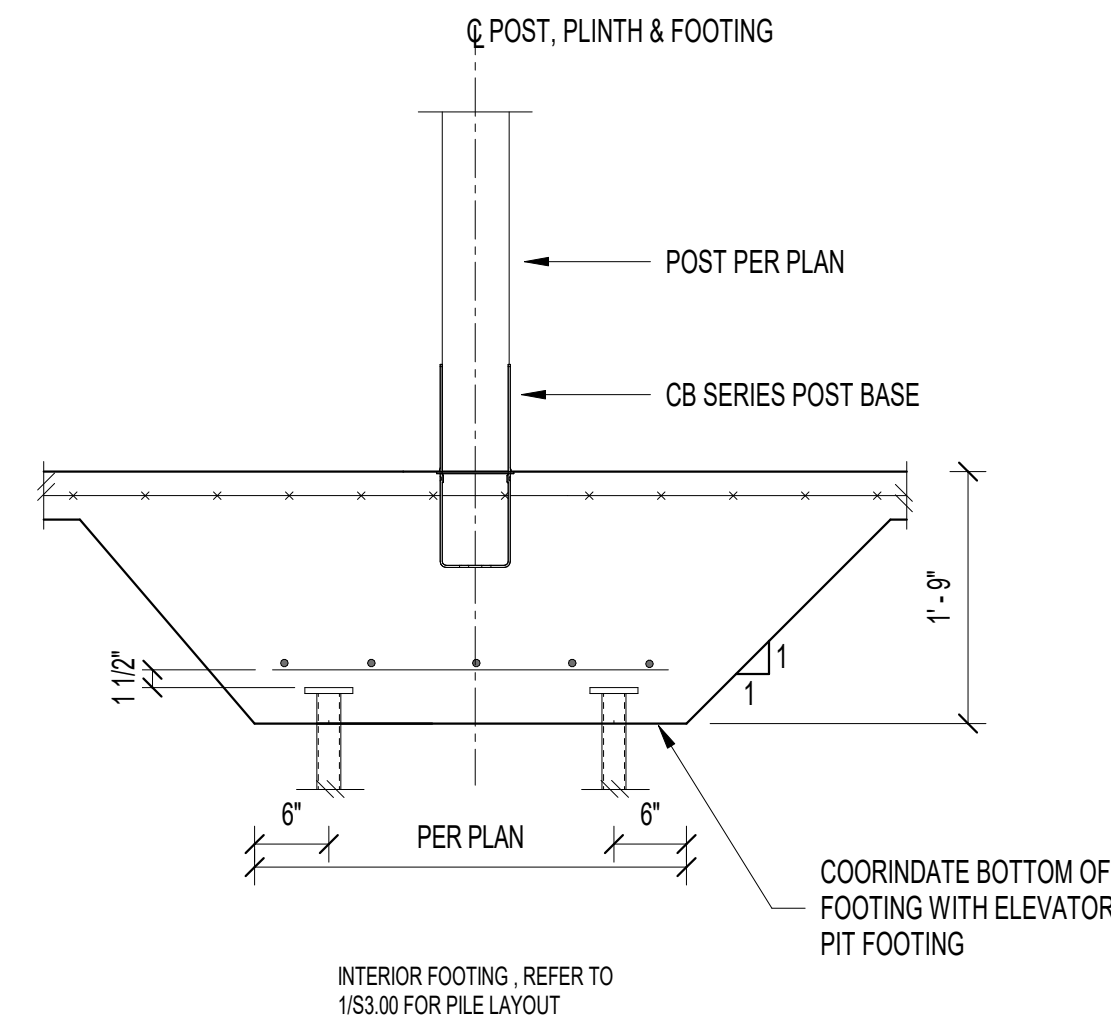
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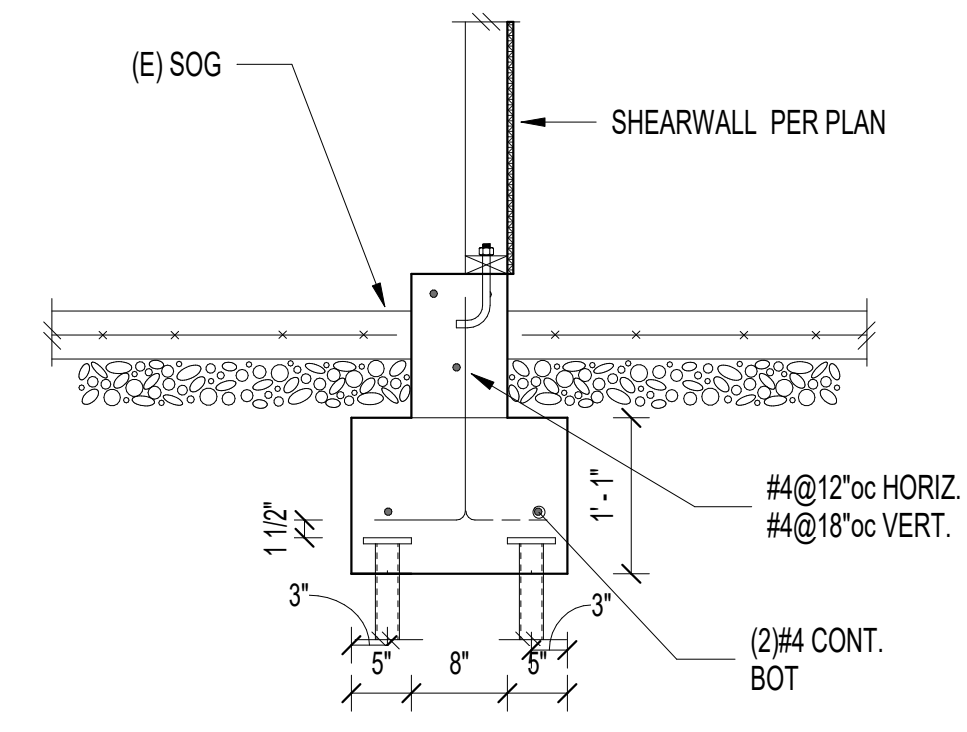
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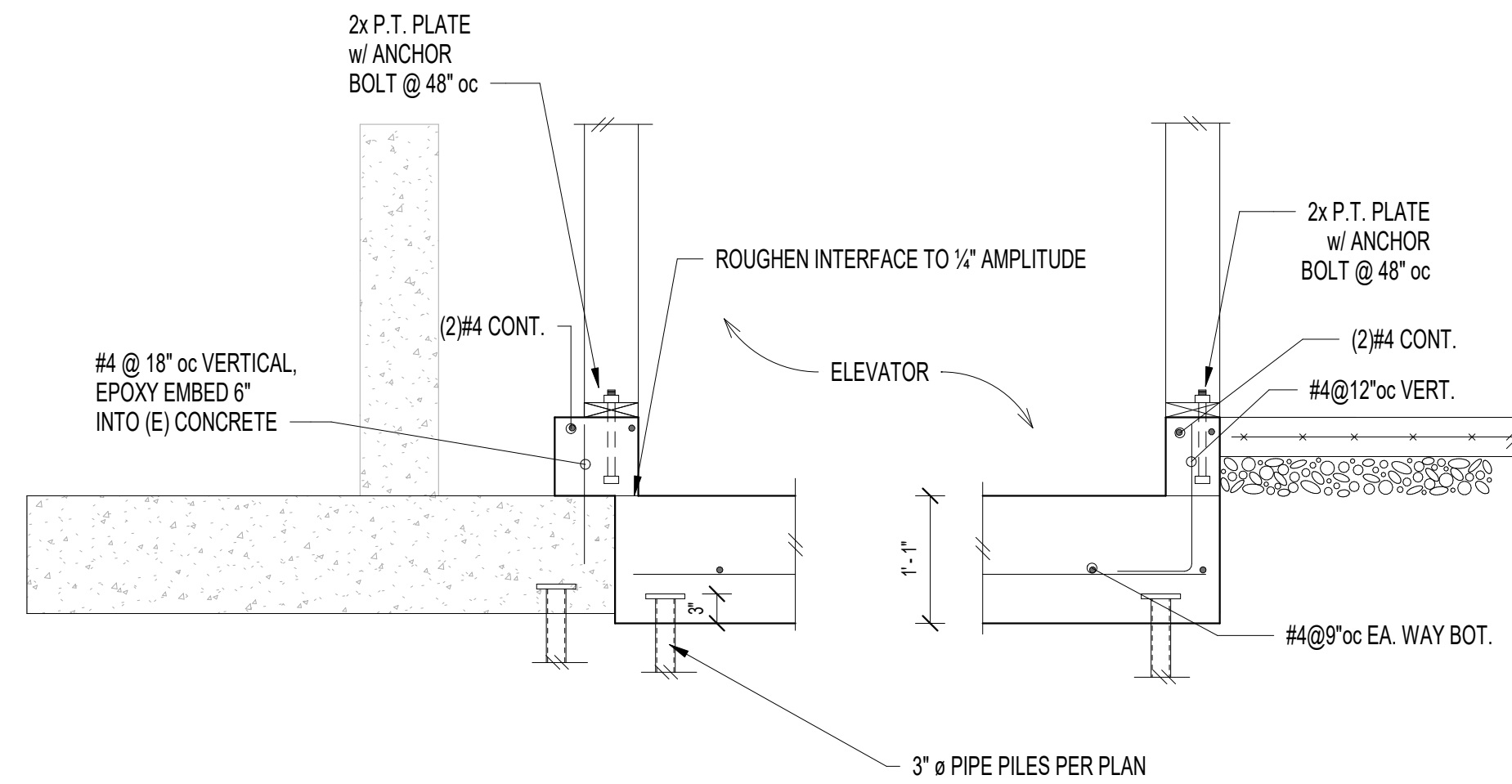
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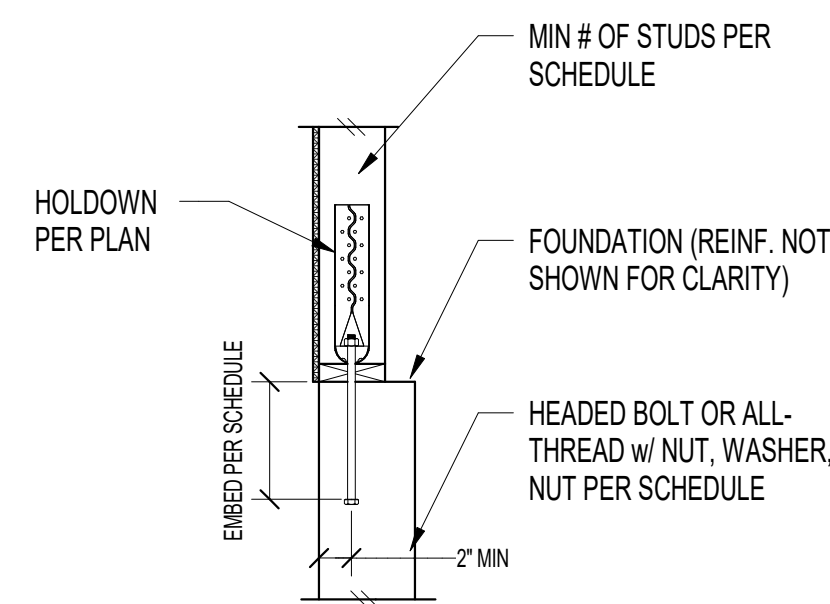
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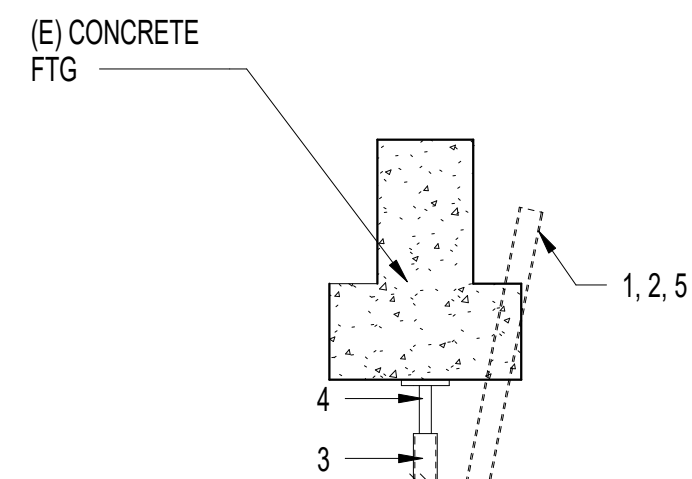
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HOLD-DOWN SCHEDULE				
PLAN MARK	ANCHOR BOLT ③	EPOXY EMBED	CAST-IN-PLACE ②	MIN. NO. OF END STUDS ①
HDU2	5/8"Ø	7"	5"	2
HDU5	5/8"Ø	12 1/2"	7"	3

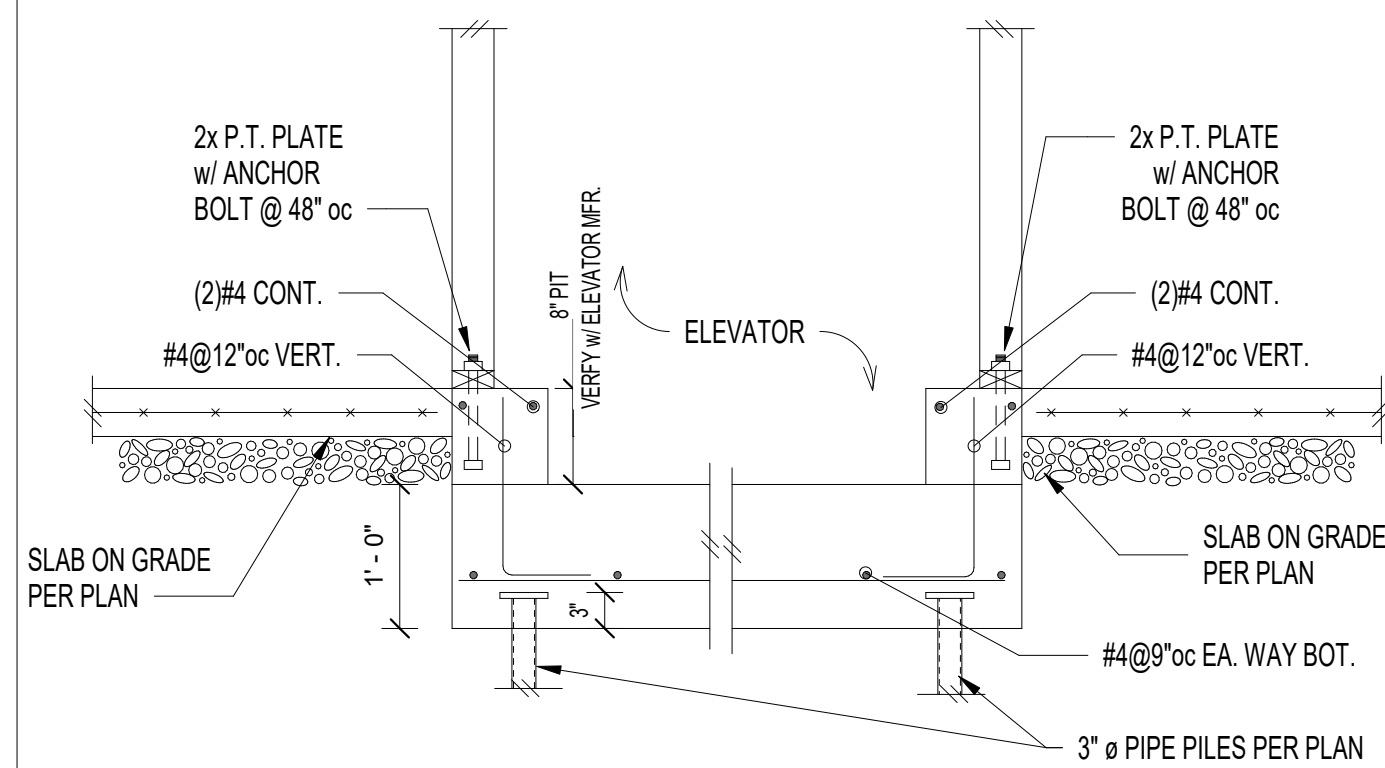
- ① MINIMUM NO. OF STUDS AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS
- ② CAST IN PLACE ALL-THREAD w/ NUT/WASHER/NUT EMBEDDED IN CONCRETE
- ③ EMBED ANCHOR BOLT IN FOOTING/STEM WALL AS SHOWN IN DETAIL. IF NECESSARY, INCREASE FOOTING DEPTH TO MEET EMBED LENGTH AND CONCRETE COVER REQUIREMENTS

8

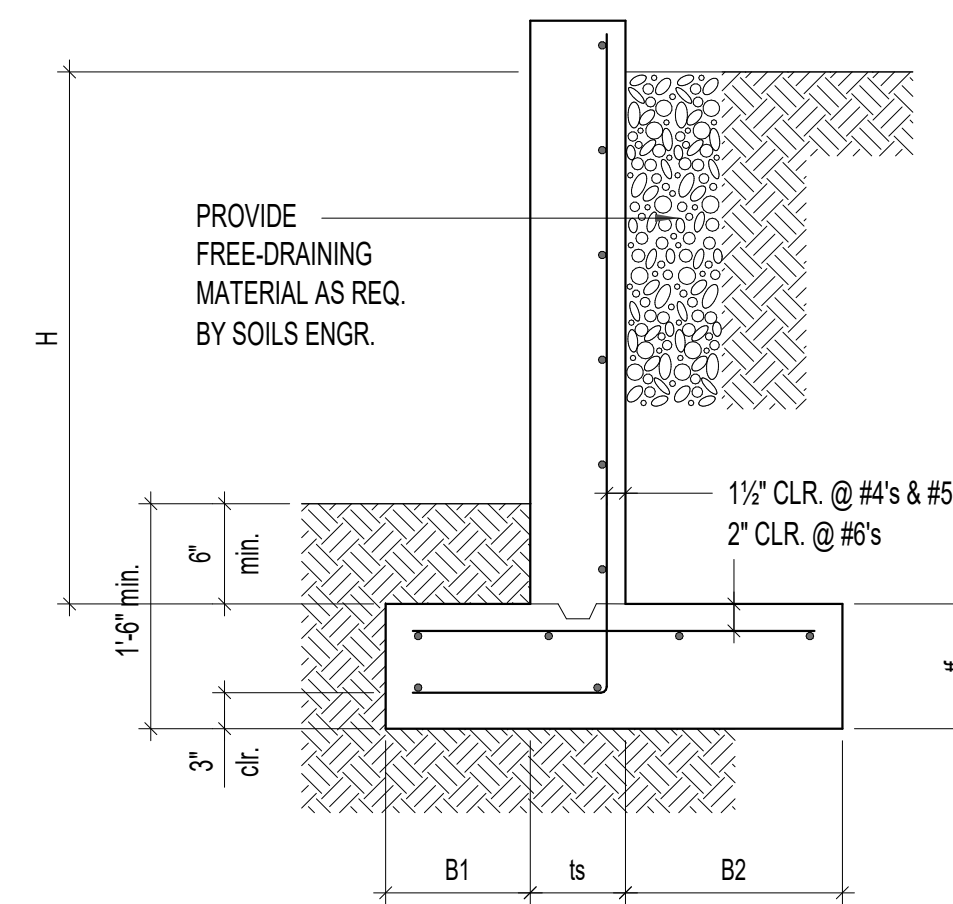


1. EXCAVATE TO EXPOSE FOOTING.
2. DRIVE PIPE PILE TO REFUSAL (REFER TO SOILS REPORT).
3. CUT OFF PILE SEVERAL INCHES BELOW FOOTING AND INSERT SCREW JACK. JACK PILE Laterally, UNTIL PIPE IS CENTERED BELOW FOOTING.
4. LEVEL FOOTING w/ SCREW JACKS. PAINT SCREW JACKS w/ COAL TAR PITCH OR EQUIVALENT. PLACE A BACKFILL OF CEMENT MORTAR AROUND JACK & TOP OF PILE.
5. COMPLETE BACKFILL.

9



10



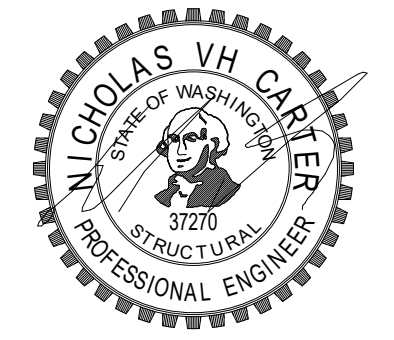
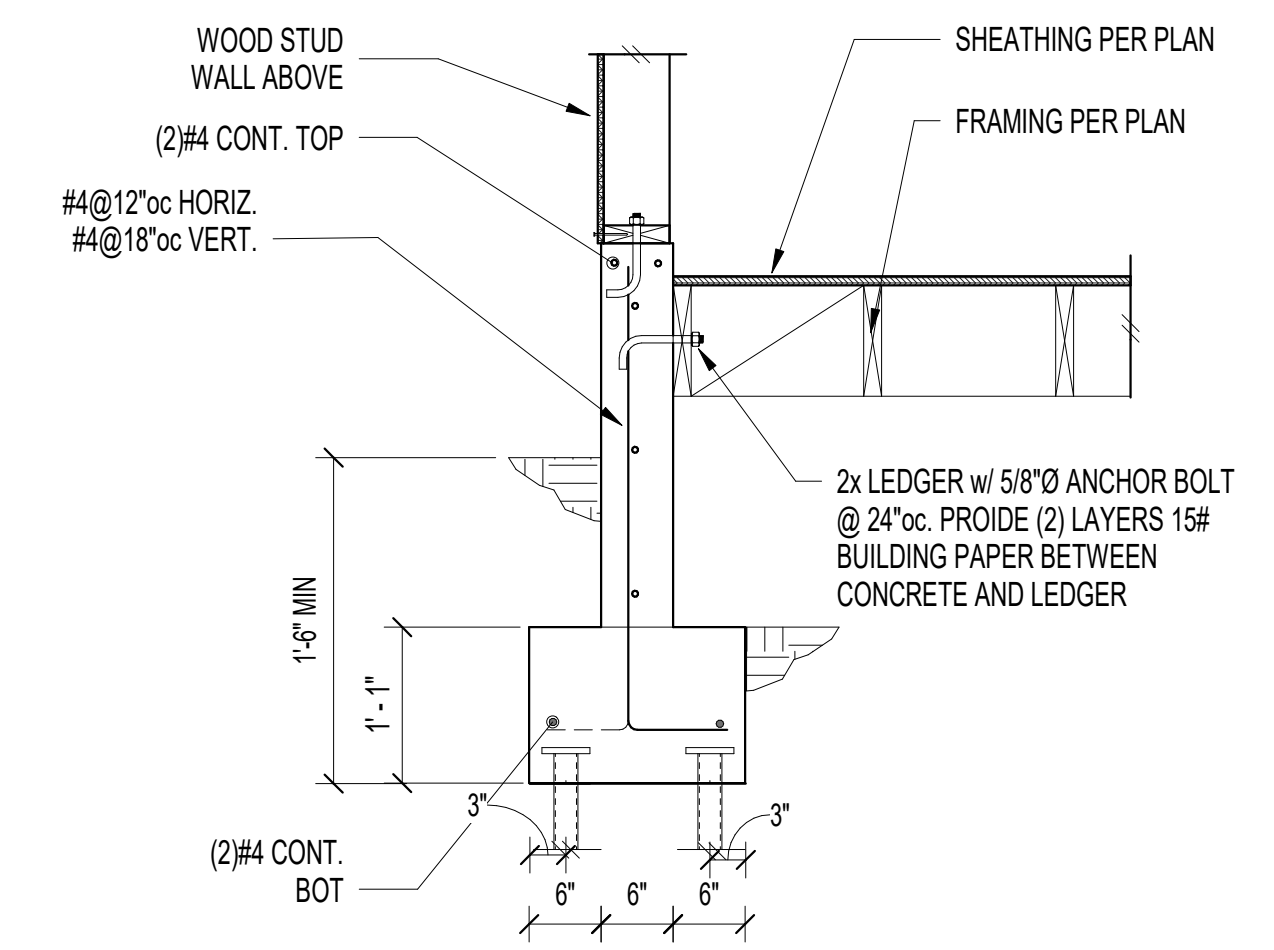
H (Ft.)	B1	ts	B2	tf	STEM REINFORCING		FOOTING REINFORCING	
					VERT.	HORIZ.	TOP	LONGIT.
4'	1'-3"	8"	8"	10"	#4 @ 10"	#4 @ 12"	#4 @ 18"	(3)#4
5'	1'-3"	8"	1'-6"	10"	#4 @ 10"	#4 @ 12"	#4 @ 18"	(4)#4
6'	1'-9"	8"	2'-3"	10"	#4 @ 10"	#4 @ 12"	#4 @ 18"	(6)#4

NOTE TO ENGINEER:
 EQUIVALENT FLUID PRESSURE = 35 PCF
 MINIMUM ALLOWABLE BEARING = 1500 PSF
 COEFFICIENT OF FRICTION = 0.35 (INCLUDING FACTOR OF SAFETY 1.5)

Site Retaining Walls

12

1	2	3	4
5	6	7	8
9	10	11	12



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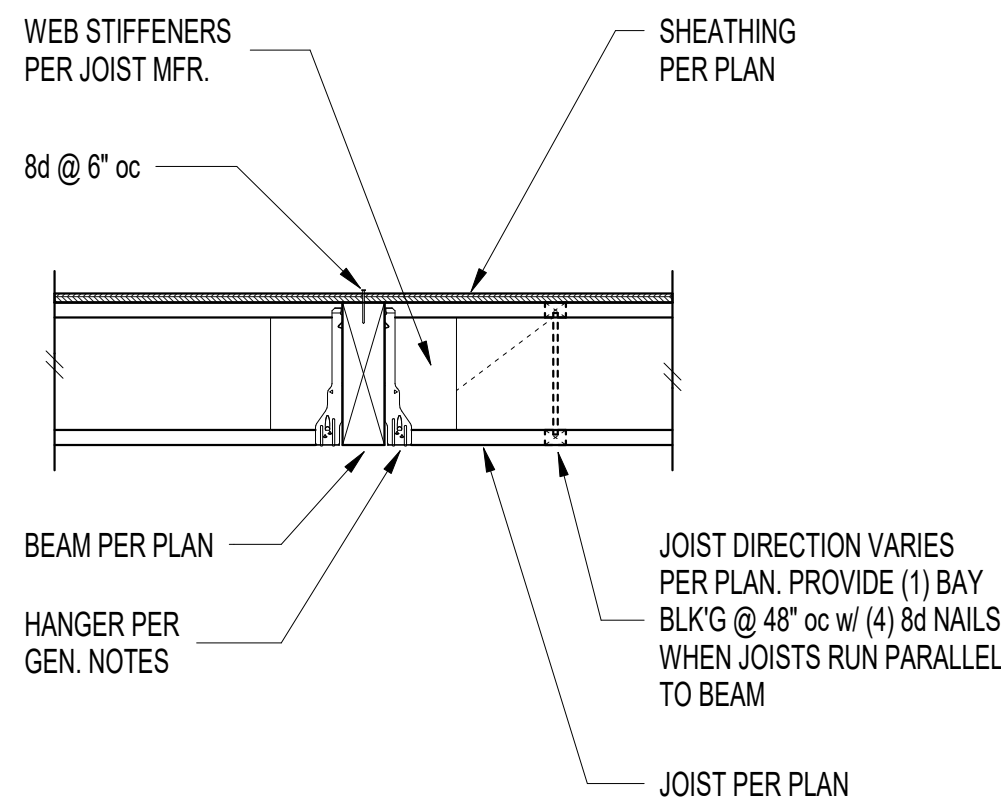
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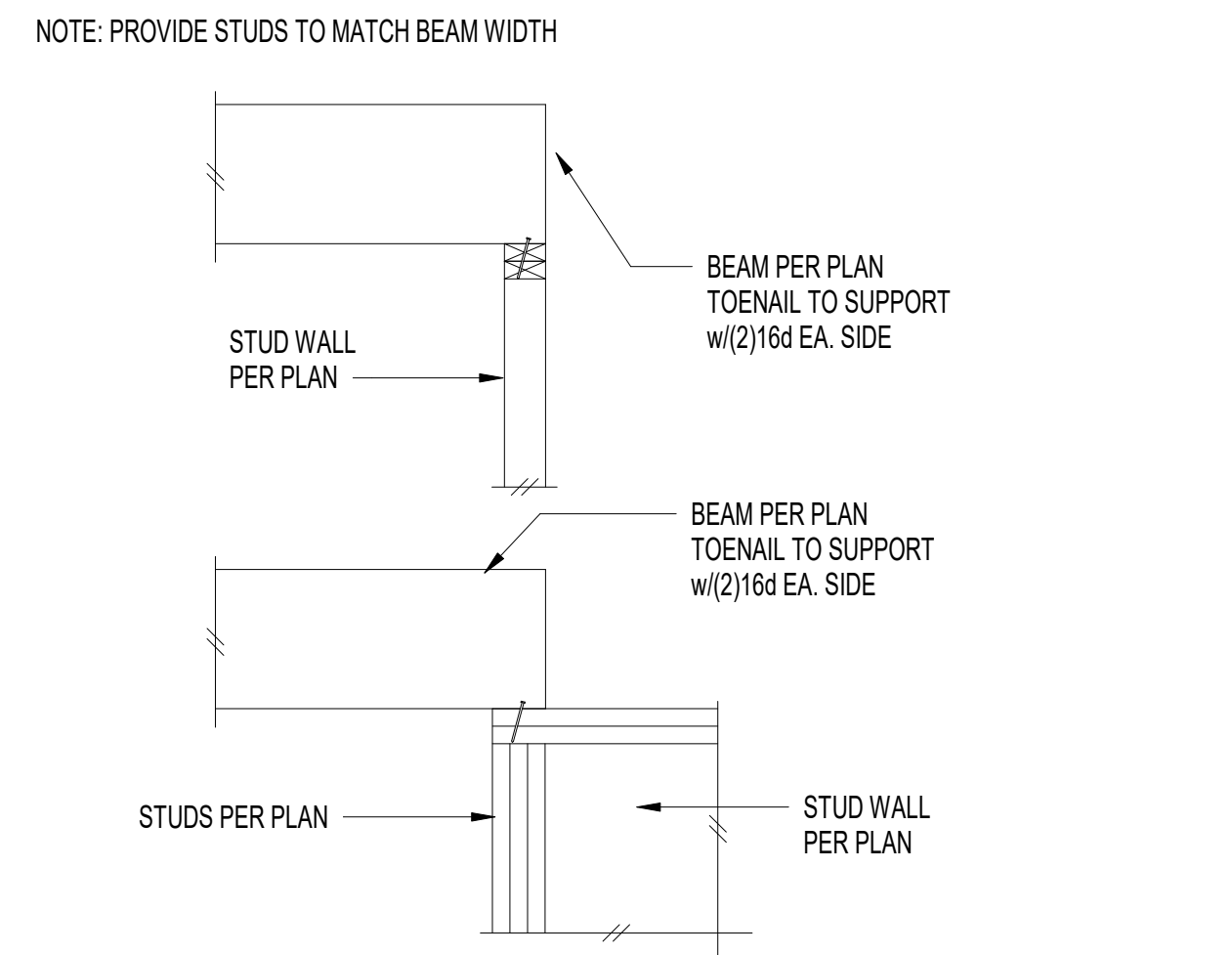
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CONCRETE DETAILS

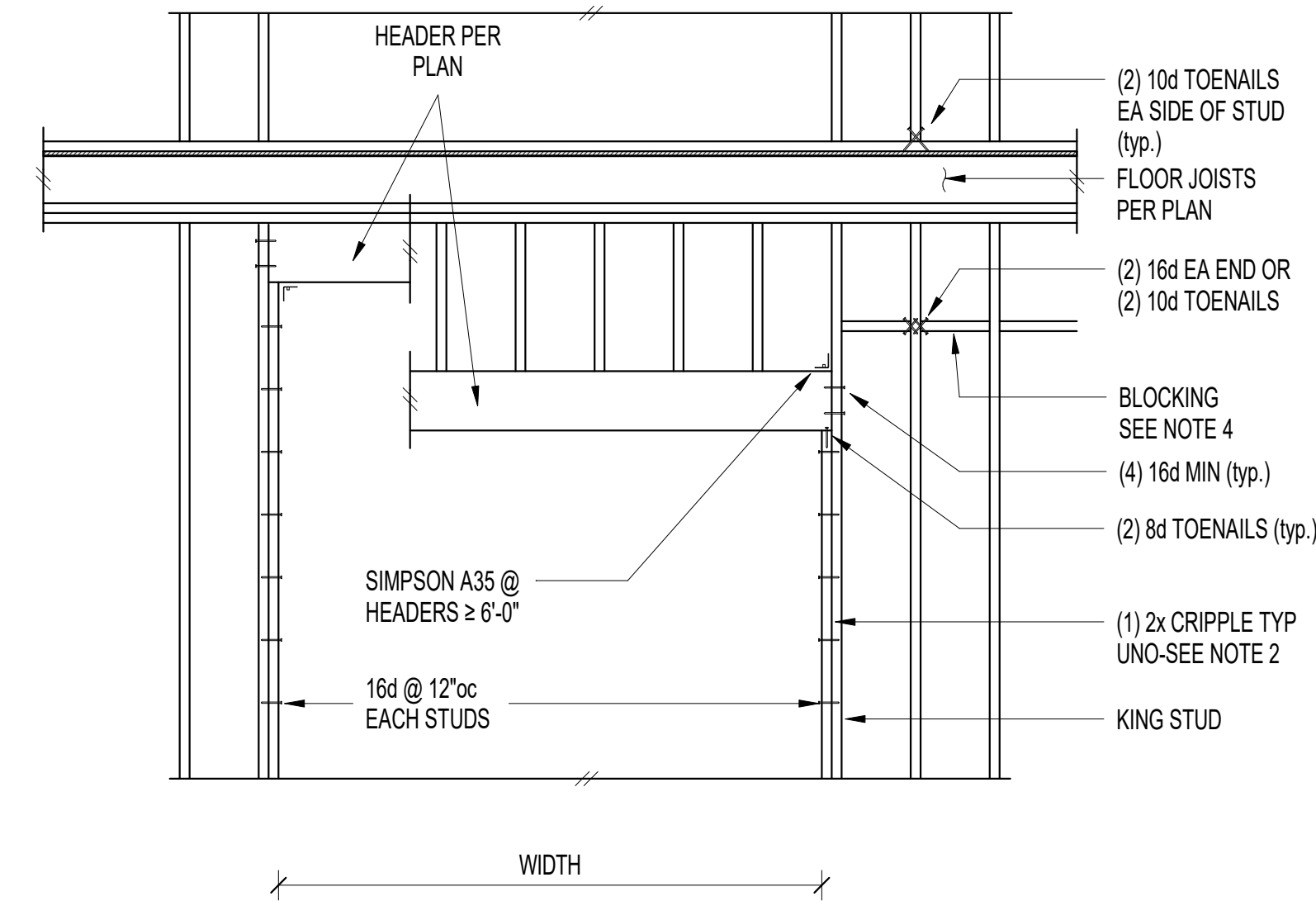
SHEET NO.:



Typical Beam 1



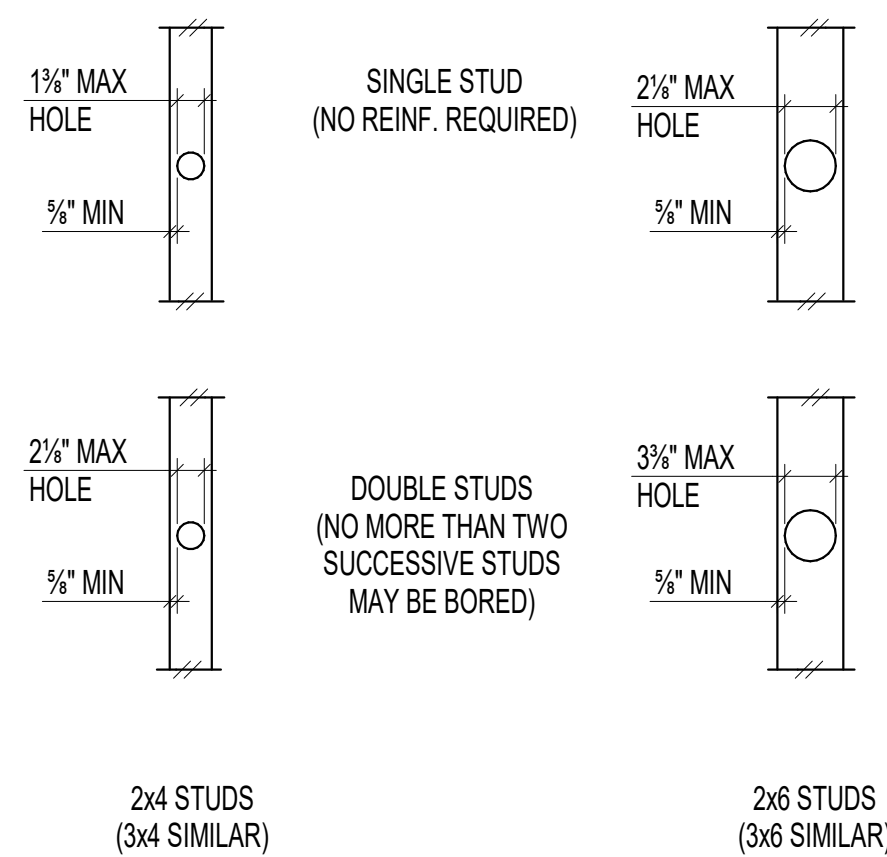
Typical Beam to Stud Connection 2



- NOTES:
- HEADERS PER PLAN
 - PROVIDE (1)2x CRIPPLE STUDS MINIMUM TYPICAL, U.O.N.
 - SEE ARCHITECTURAL DRAWINGS FOR OPENING SIZES AND LOCATIONS
 - 2x SOLID BLOCKING REQUIRED AT CEILING LINE, ALL PANEL EDGES, AND @ 8'-0" MAX.

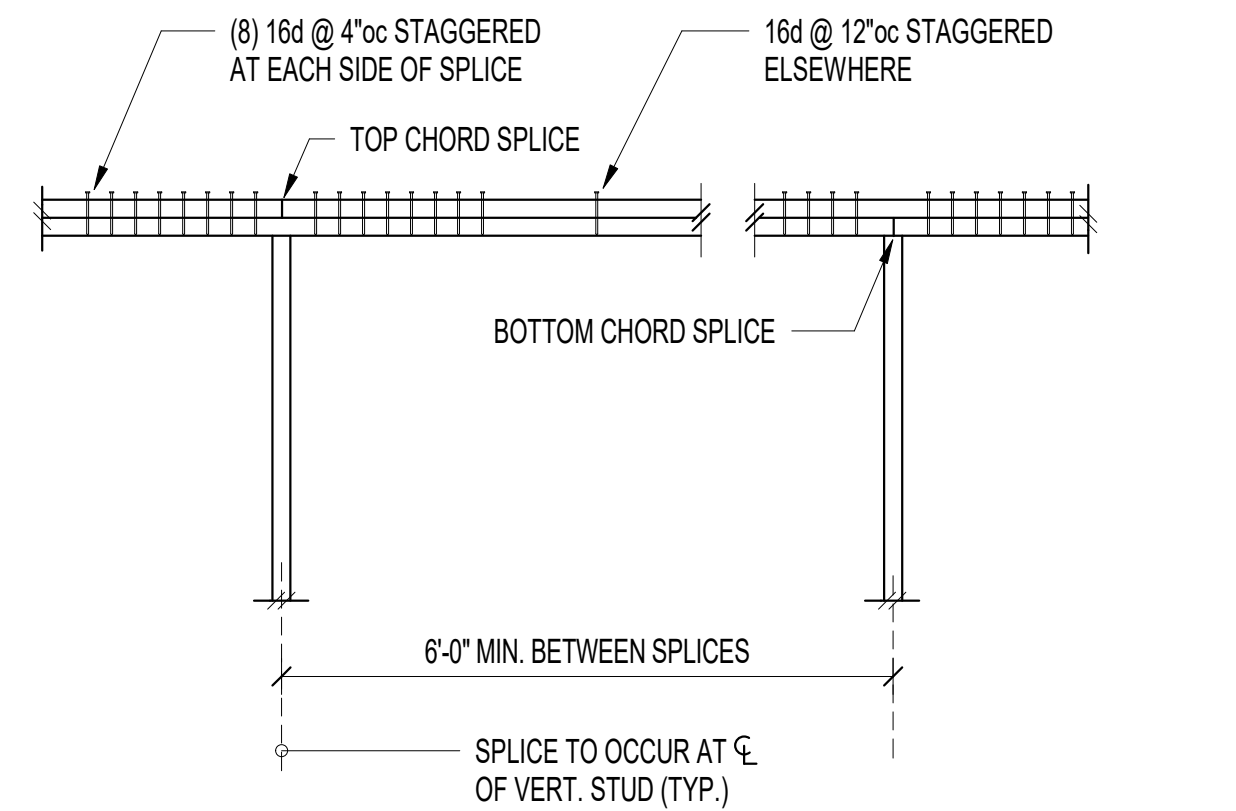
Typical Wall Opening Framing Elevation 4

NOTE: BORED HOLES SHALL NOT BE LOCATED @ THE SAME SECTION OF STUD AS A NOTCH.

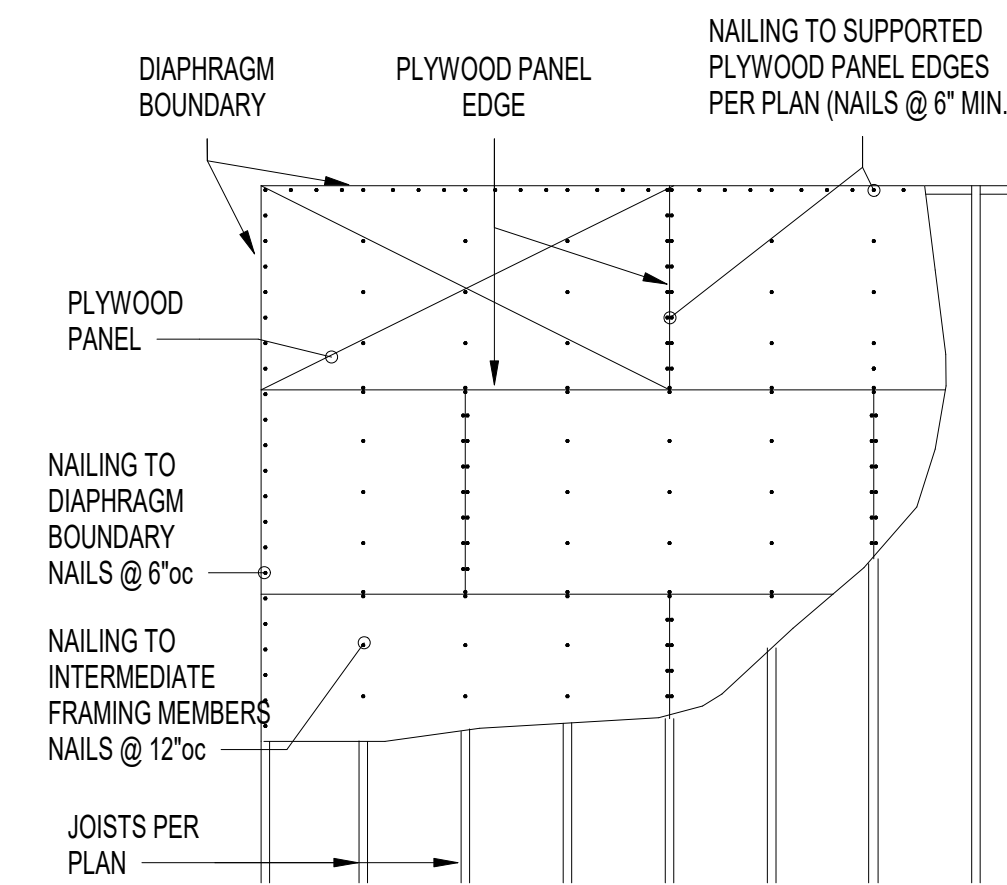


NOTE: BORED HOLES SHALL NOT BE LOCATED @ THE SAME SECTION OF STUD AS A NOTCH.

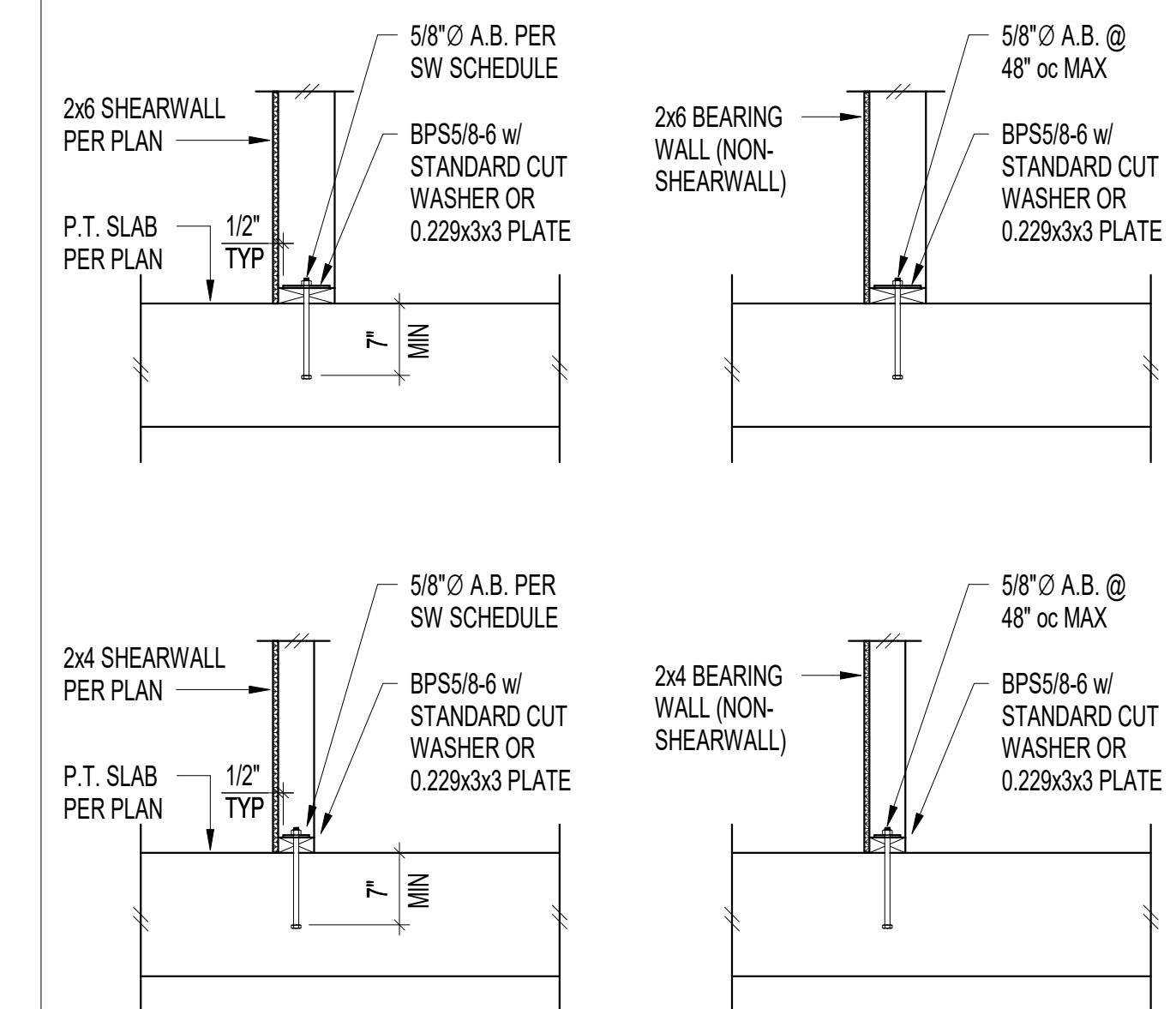
Holes Allowed Through Studs 5



Typical Top Plate Splice - Side View 6

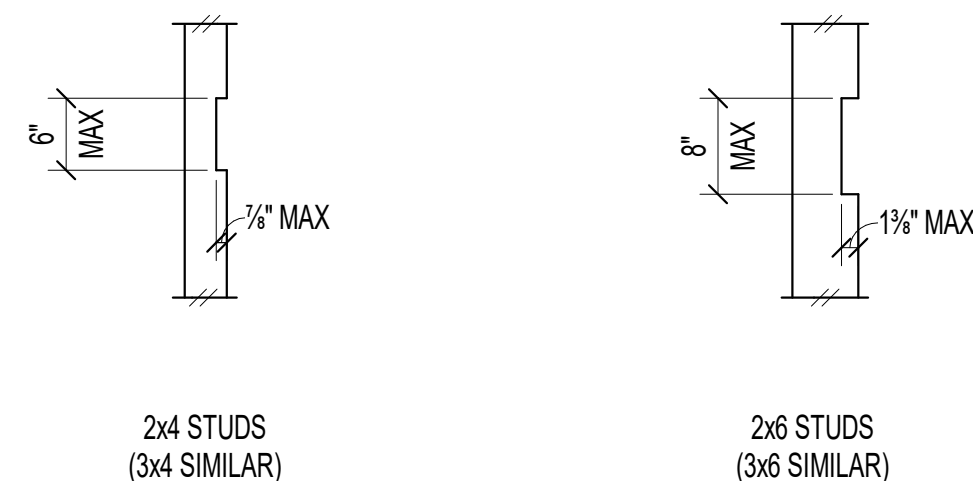


Typical Un-Blocked Plywood Sheathing Layout 7



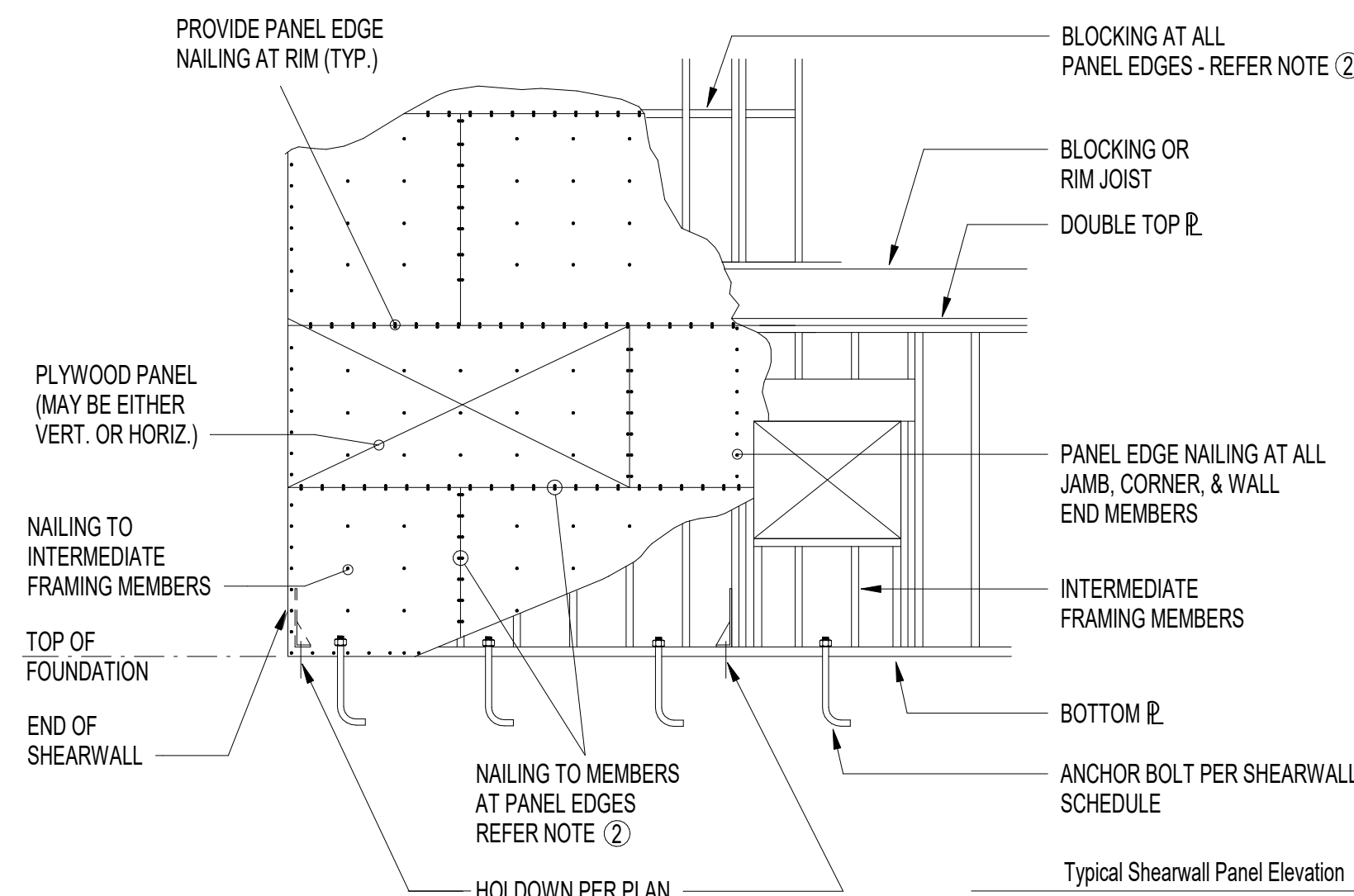
8

NOTE: NOTCHES SHALL NOT OCCUR IN MORE THAN (2) SUCCESSIVE STUDS



ANY NOTCH OR HOLE THRU STUDS EXCEEDING ABOVE DETAIL SHALL GET E.O.R. APPROVAL FOR POSSIBLE REINFORCING REQUIREMENTS PRIOR TO DRILLING/NOTCHING

Allowable Notches In Studs 9



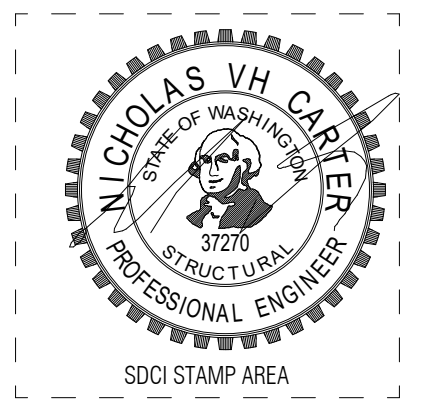
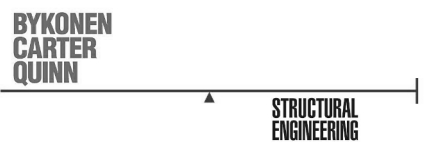
Typical Shearwall Panel Elevation

SW#	SHEATHING	BLOCKING	PANEL EDGE NAILING ①	ATTACHMENT TO TOP PLATE ②	BOTTOM PLATE ATTACHMENT		CAPACITY (plf) SEISMIC
					LSL RIM JOIST REQ'D	ANCHOR BOLTING TO CONC. BELOW ⑤	
1SW1	15/32" APA RATED SHEATHING	YES	8d @ 6"oc	CLIP @ 16"oc	1 1/2" LSL	NAILS @ 6"oc	240 PLF
1SW2	15/32" APA RATED SHEATHING	YES	8d @ 4"oc	CLIP @ 16"oc	1 1/2" LSL	NAILS @ 4 1/2"oc	355 PLF
1SW3	15/32" APA RATED SHEATHING	YES	8d @ 3"oc	CLIP @ 16"oc	1 1/2" LSL	NAILS @ 3 1/2"oc	455 PLF
1SW4	15/32" APA RATED SHEATHING	YES	8d @ 2"oc ⑥	CLIP @ 12"oc	3 1/2" LSL	(2) ROWS NAILS @ 5 1/2"oc ④	595 PLF

- NAILS SHALL BE 8d COMMON. NAILING APPLIES TO ALL PANEL EDGES (BLOCK ALL UNSUPPORTED PANEL EDGES), TOP & BOTTOM PLATES AND BLOCKING. NAIL TO INTERMEDIATE FRAMING MEMBERS w/8d @ 12"oc.
- CLIP SHALL BE EITHER A35 OR LTP4
- NAILS SHALL BE 10d COMMON (0.148" x 3 1/2"). SCREWS SHALL BE SIMPSON SDS25300 (1/2" x 5" MIN.)
- ROWS MUST BE OFFSET AT LEAST 1/2" AND STAGGERED
- REFER TO DETAIL 8/S6.0 FOR BEARING PLATE REQUIREMENTS
- FRAMING/BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3-INCH NOMINAL OR WIDER AND NAILS SHALL BE STAGGERED

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ISSUANCES	
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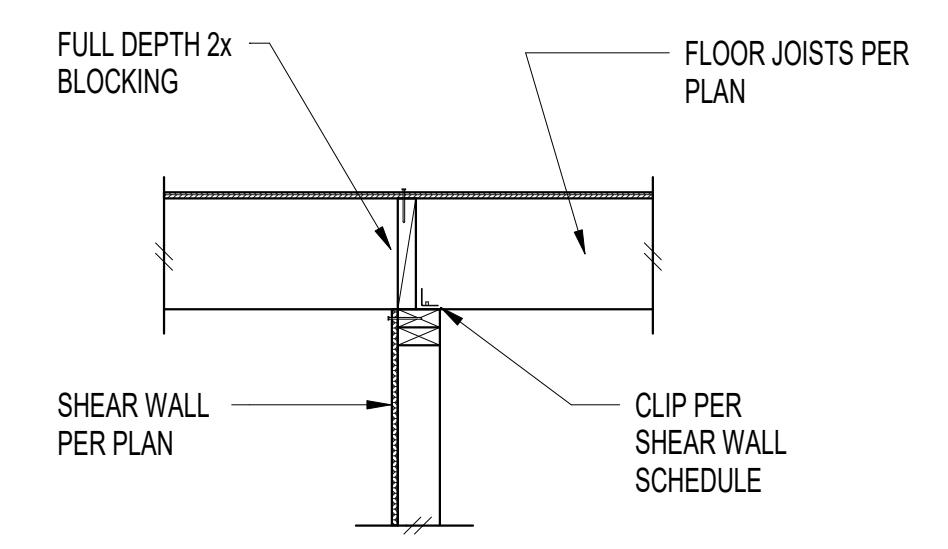
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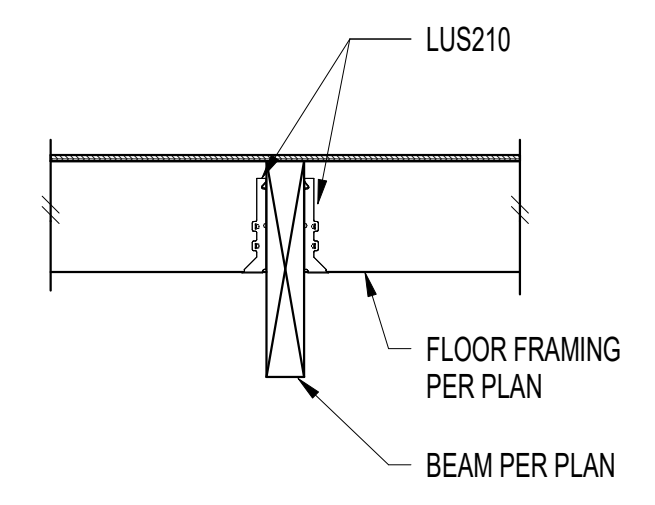
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WOOD FRAMING DETAILS

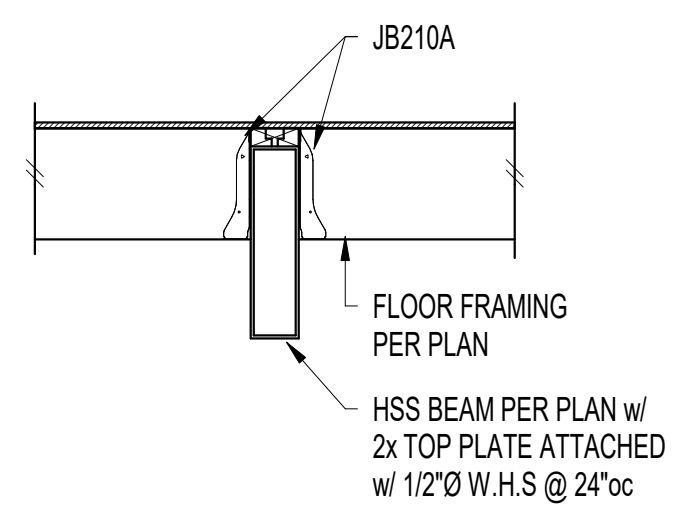
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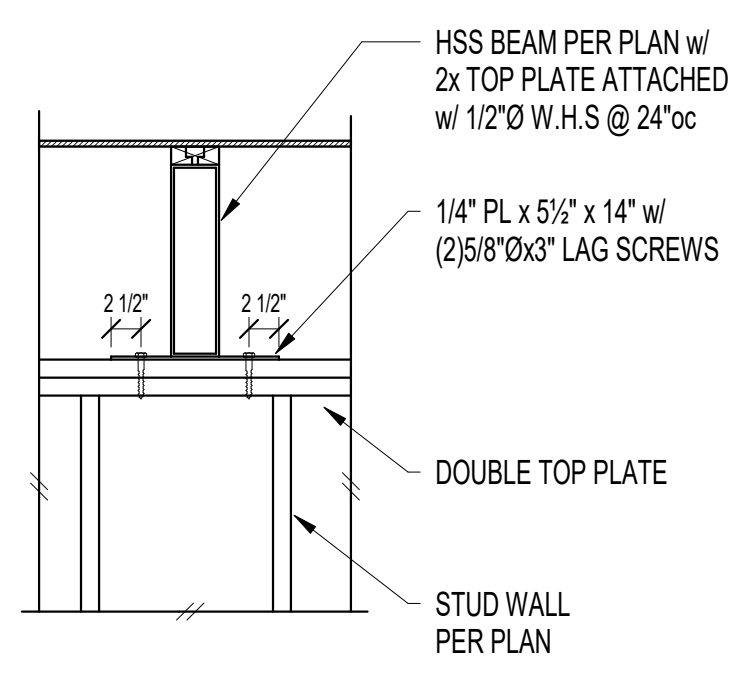
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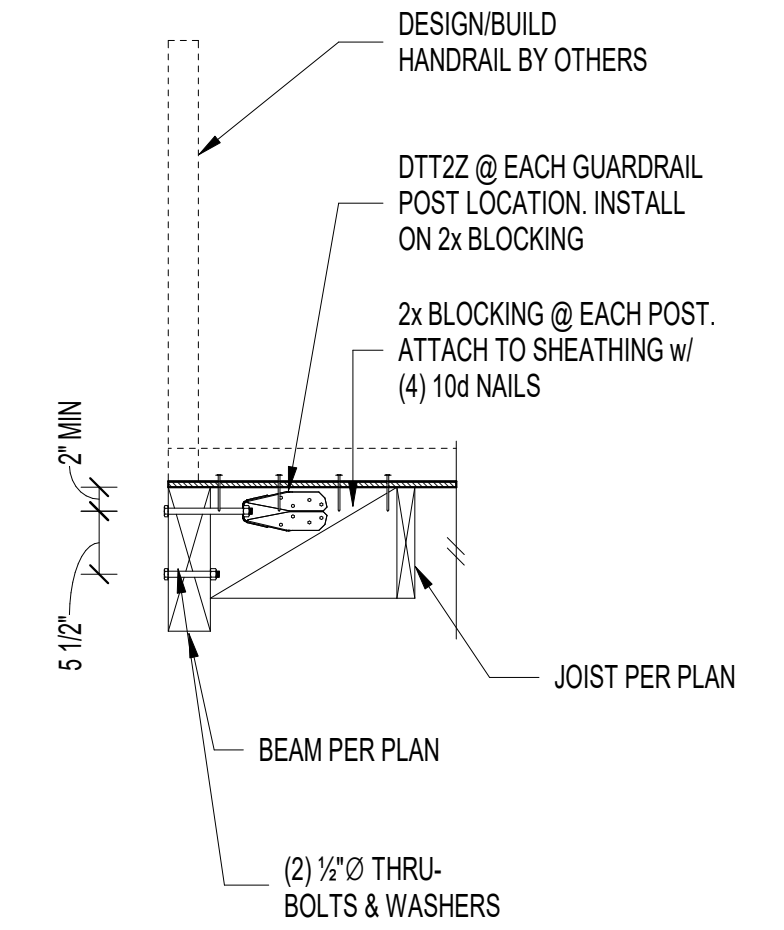
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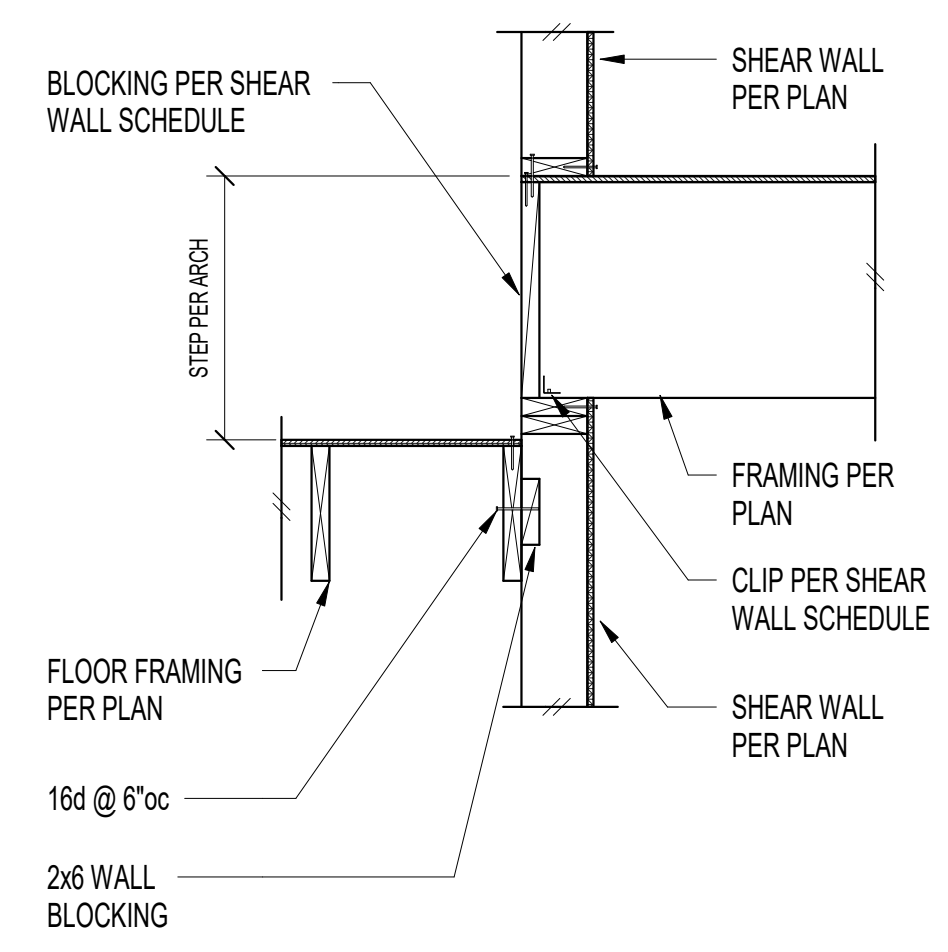
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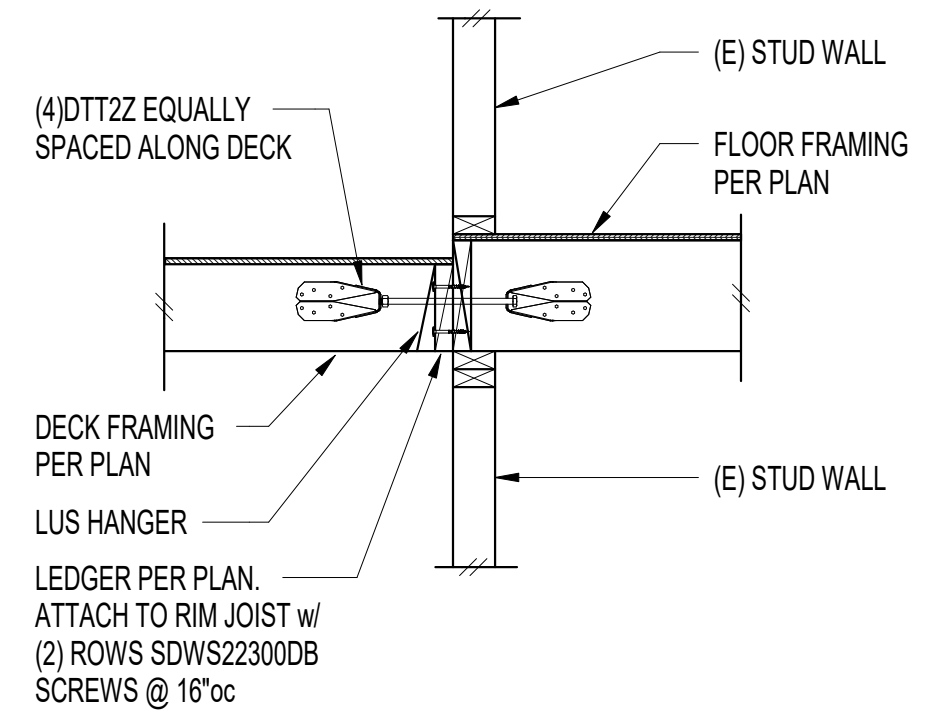
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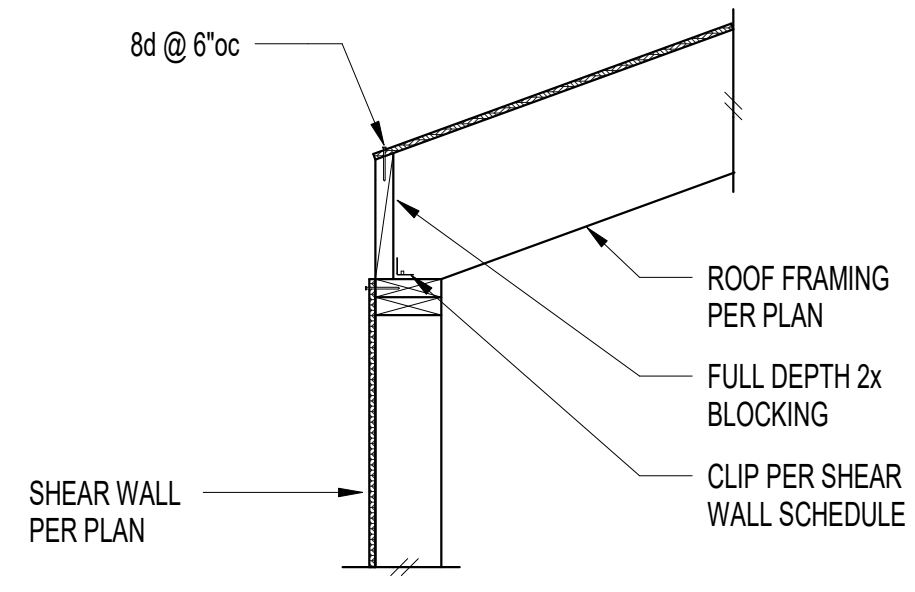
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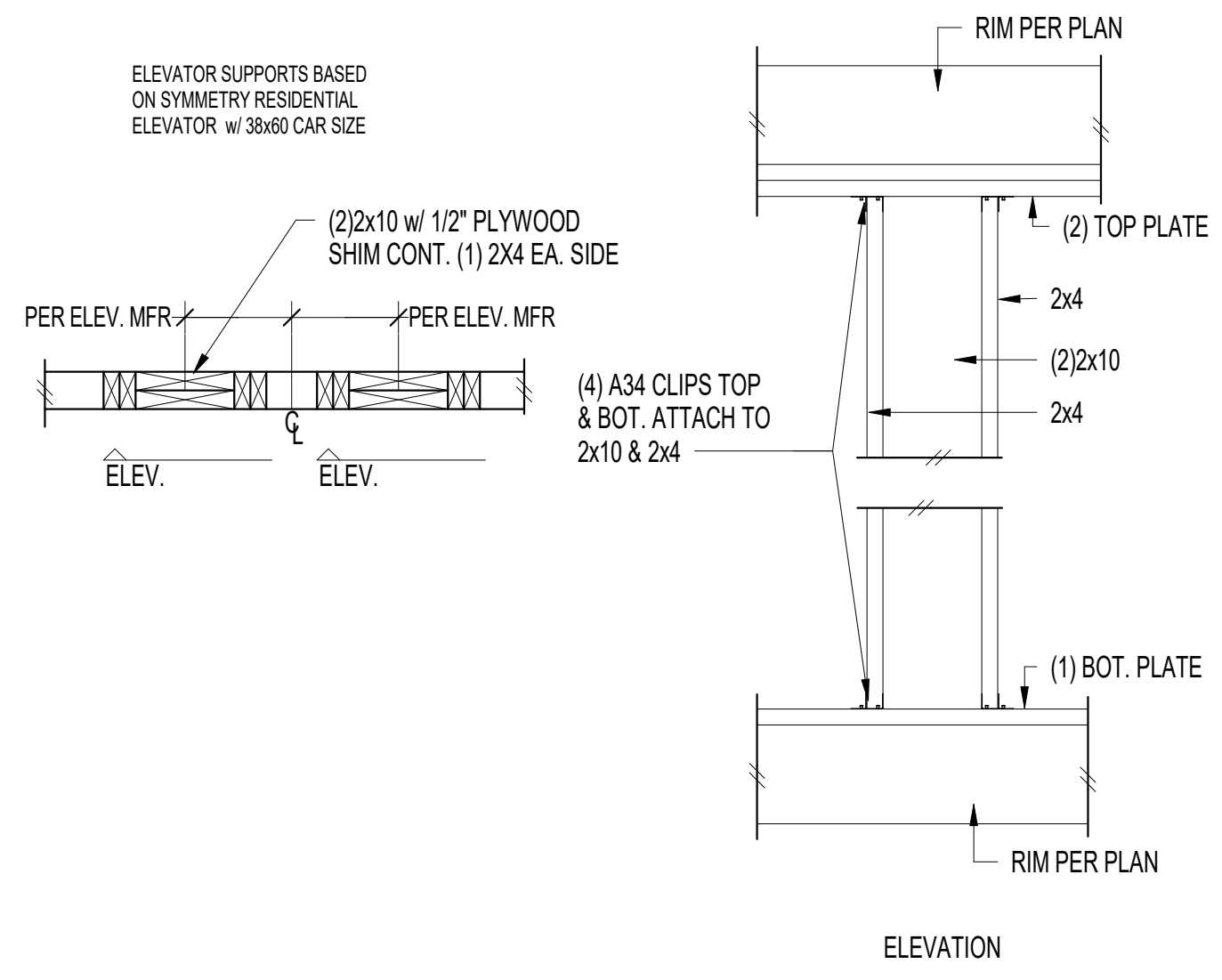
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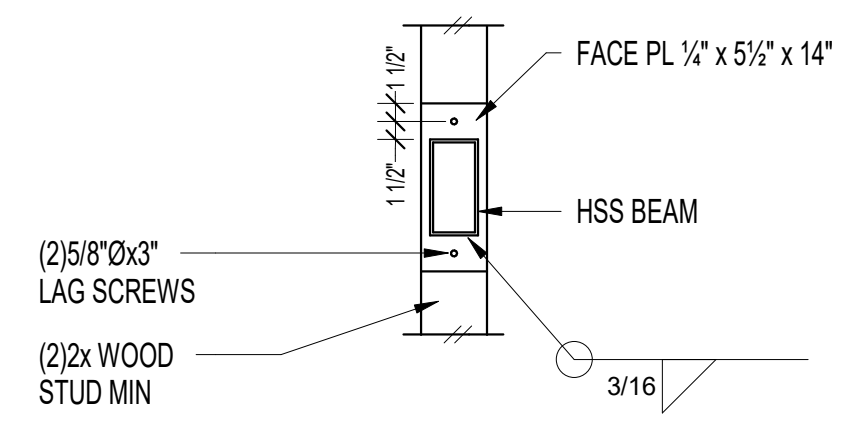
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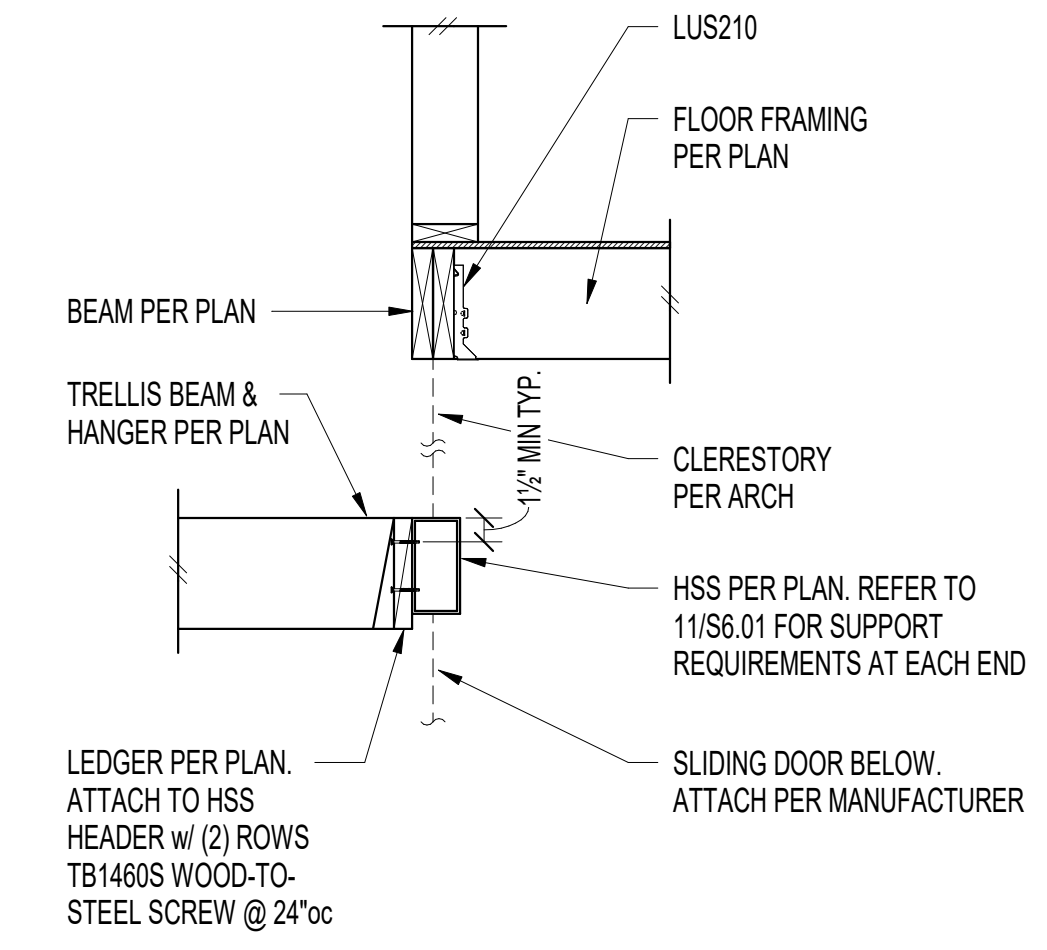
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11



12

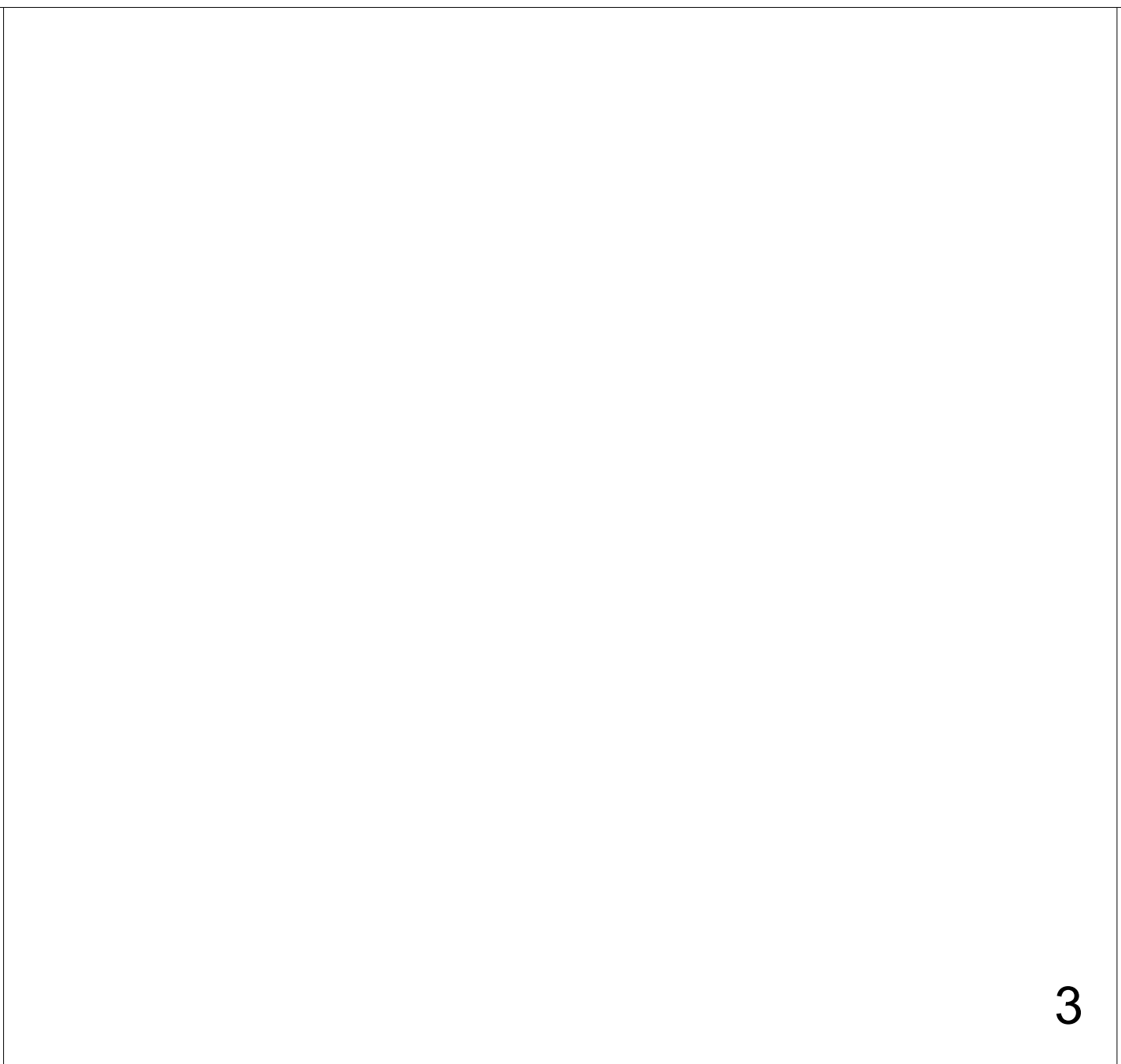
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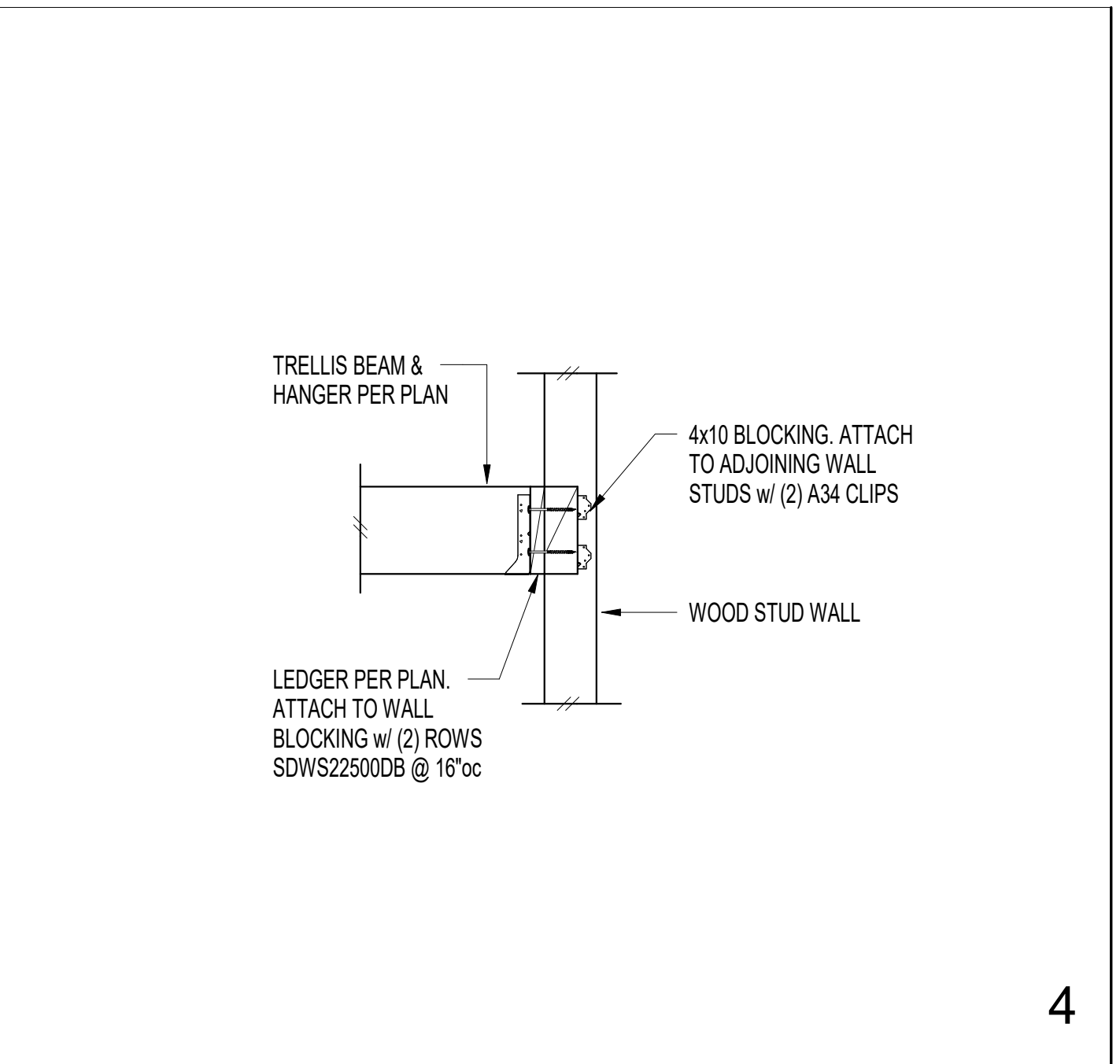
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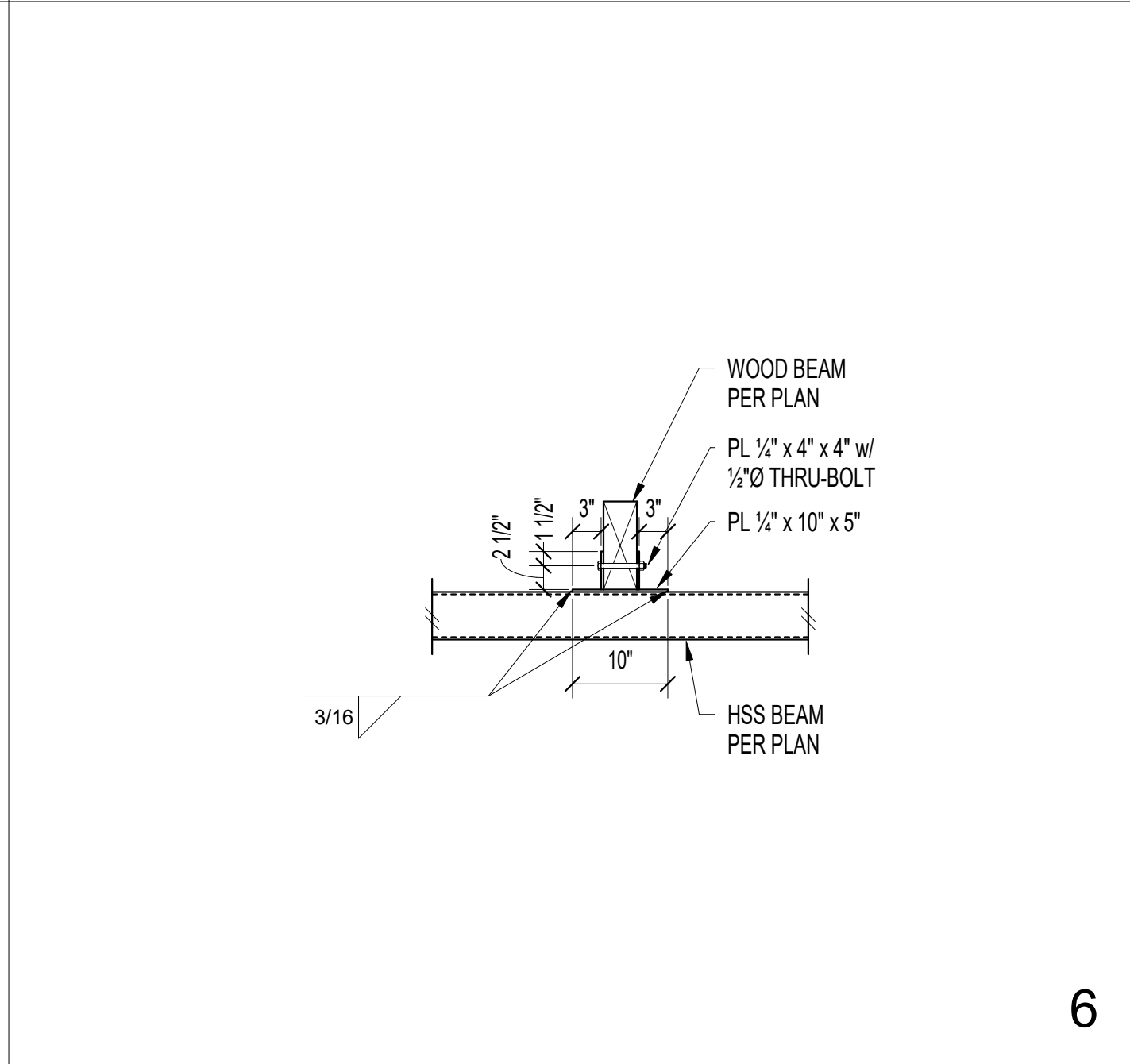
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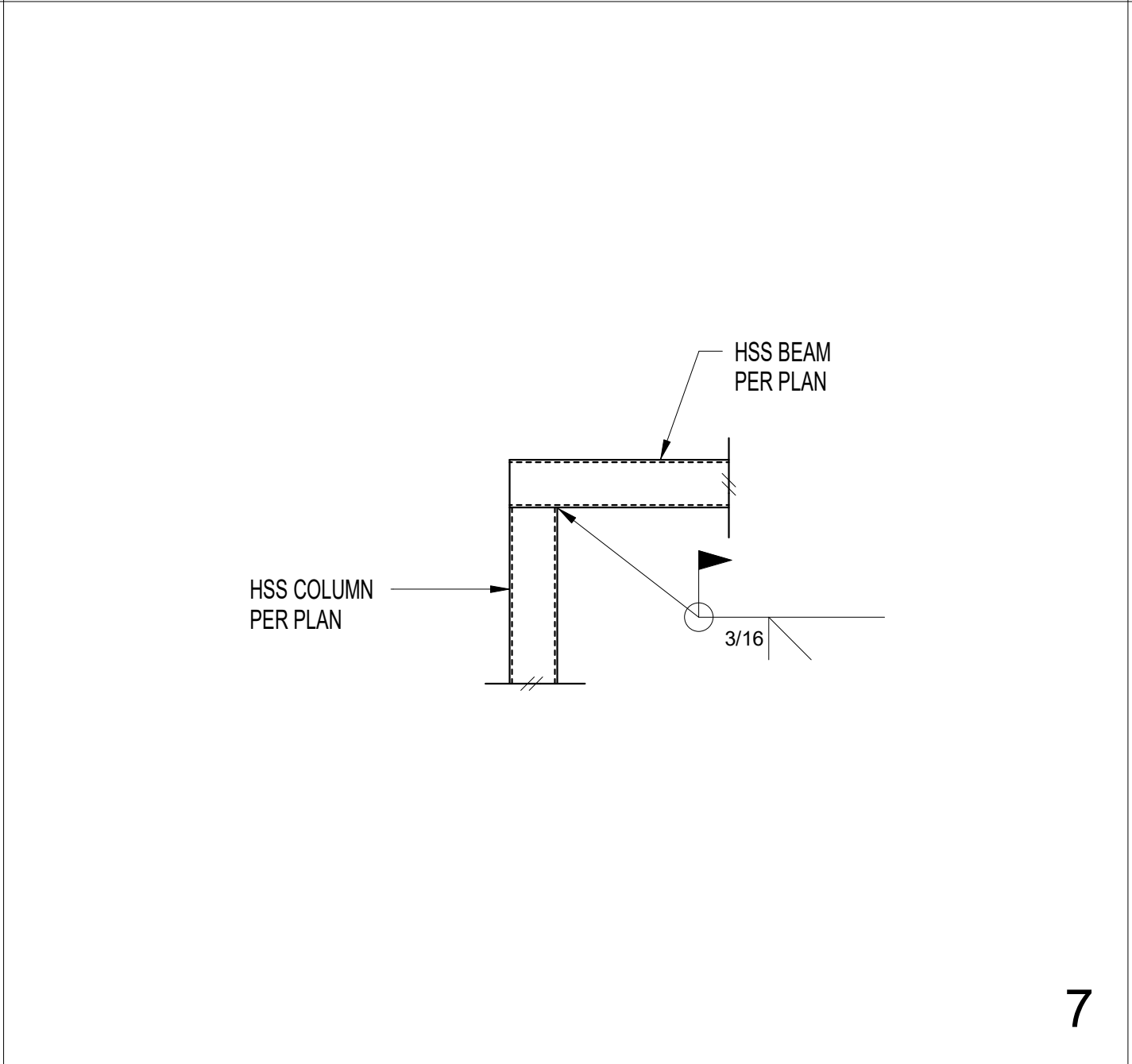
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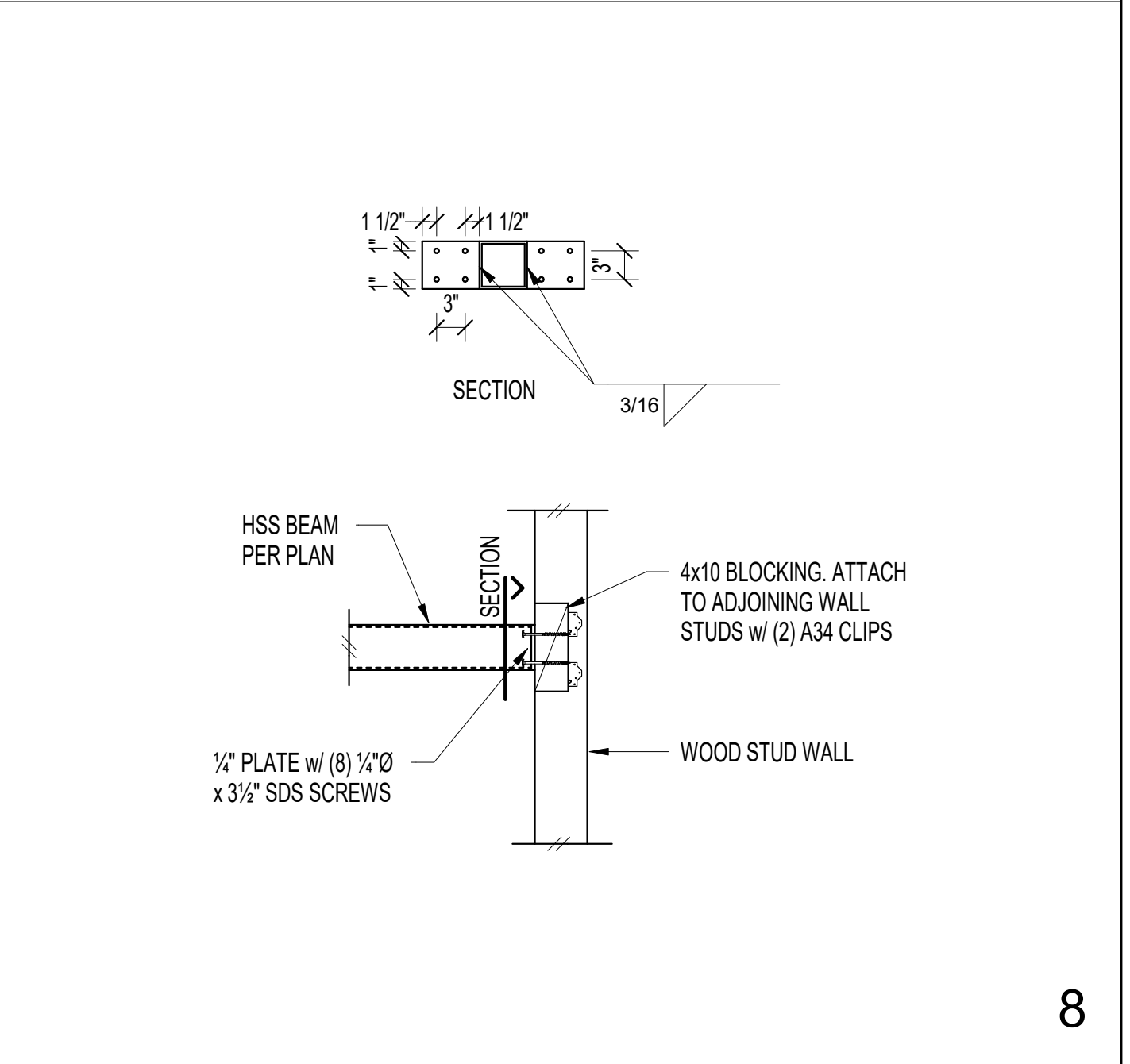
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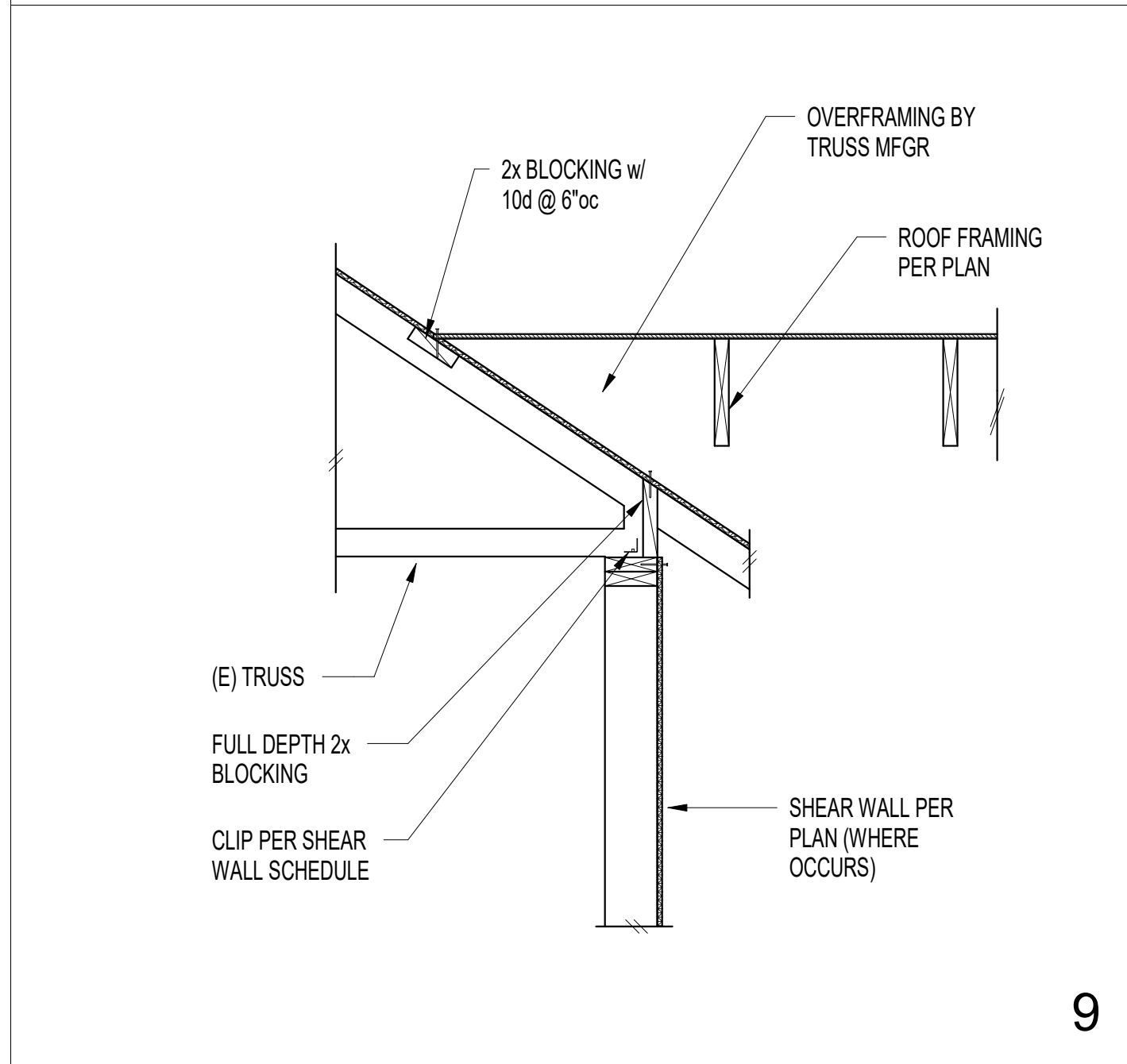
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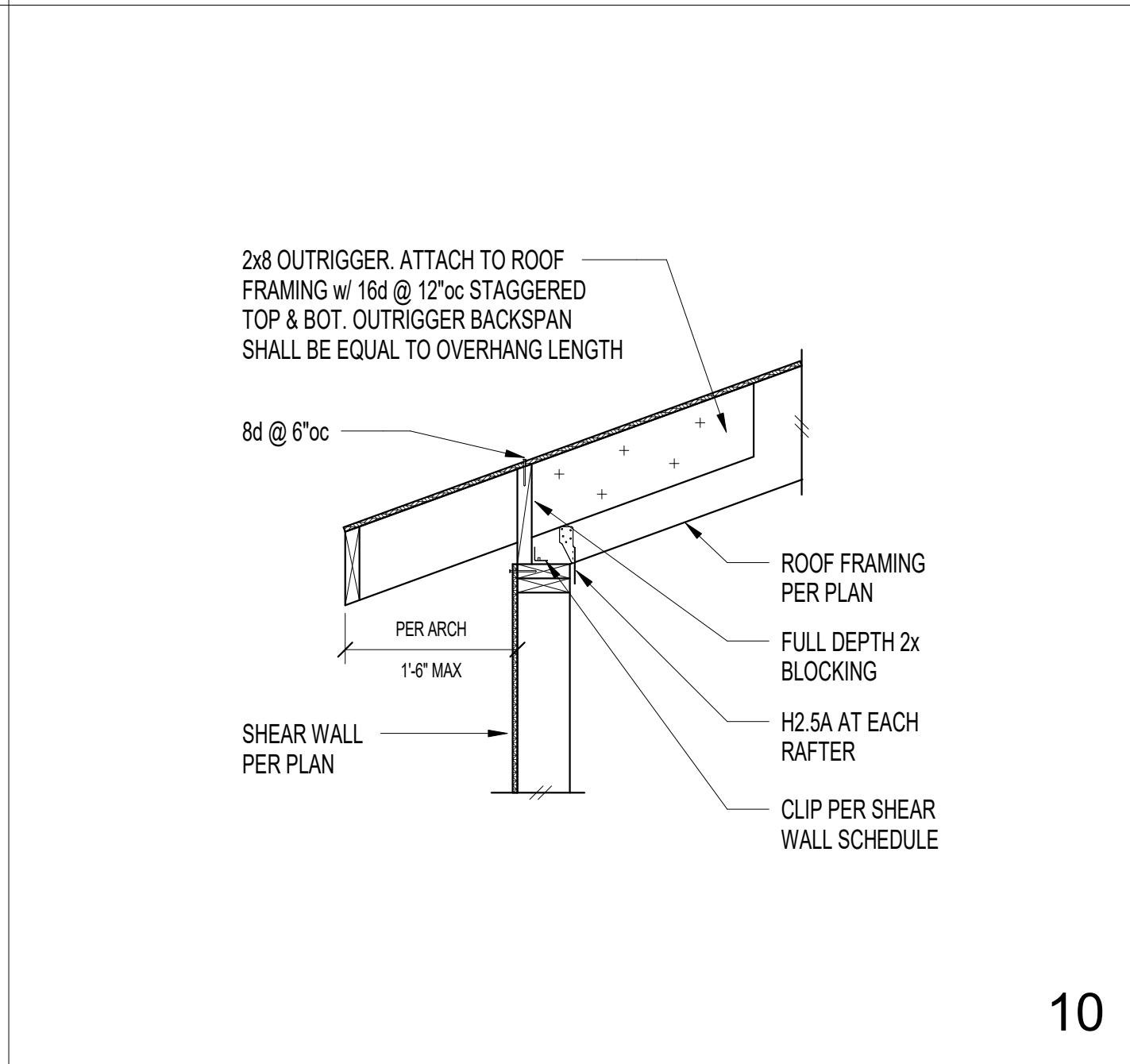
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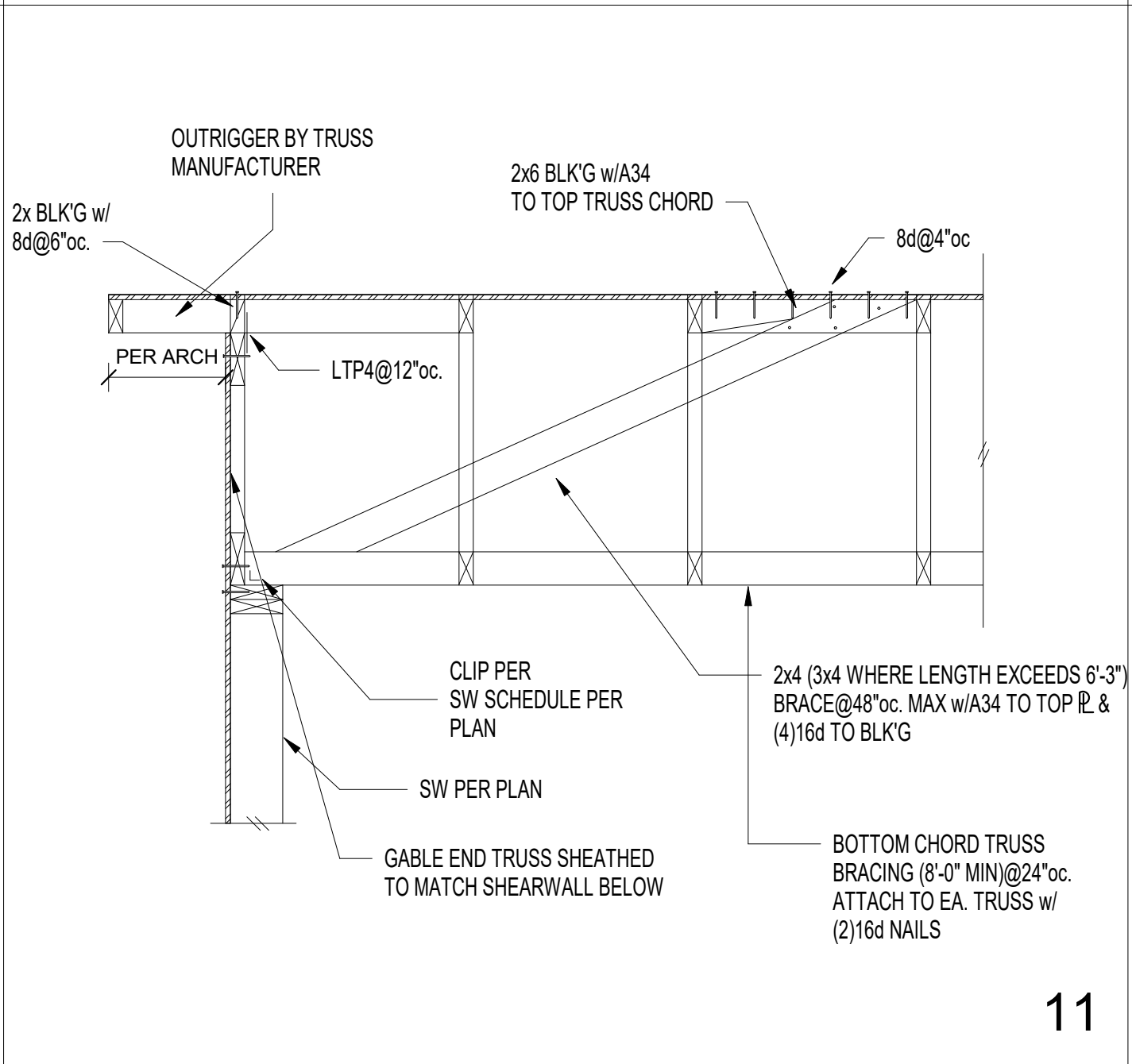
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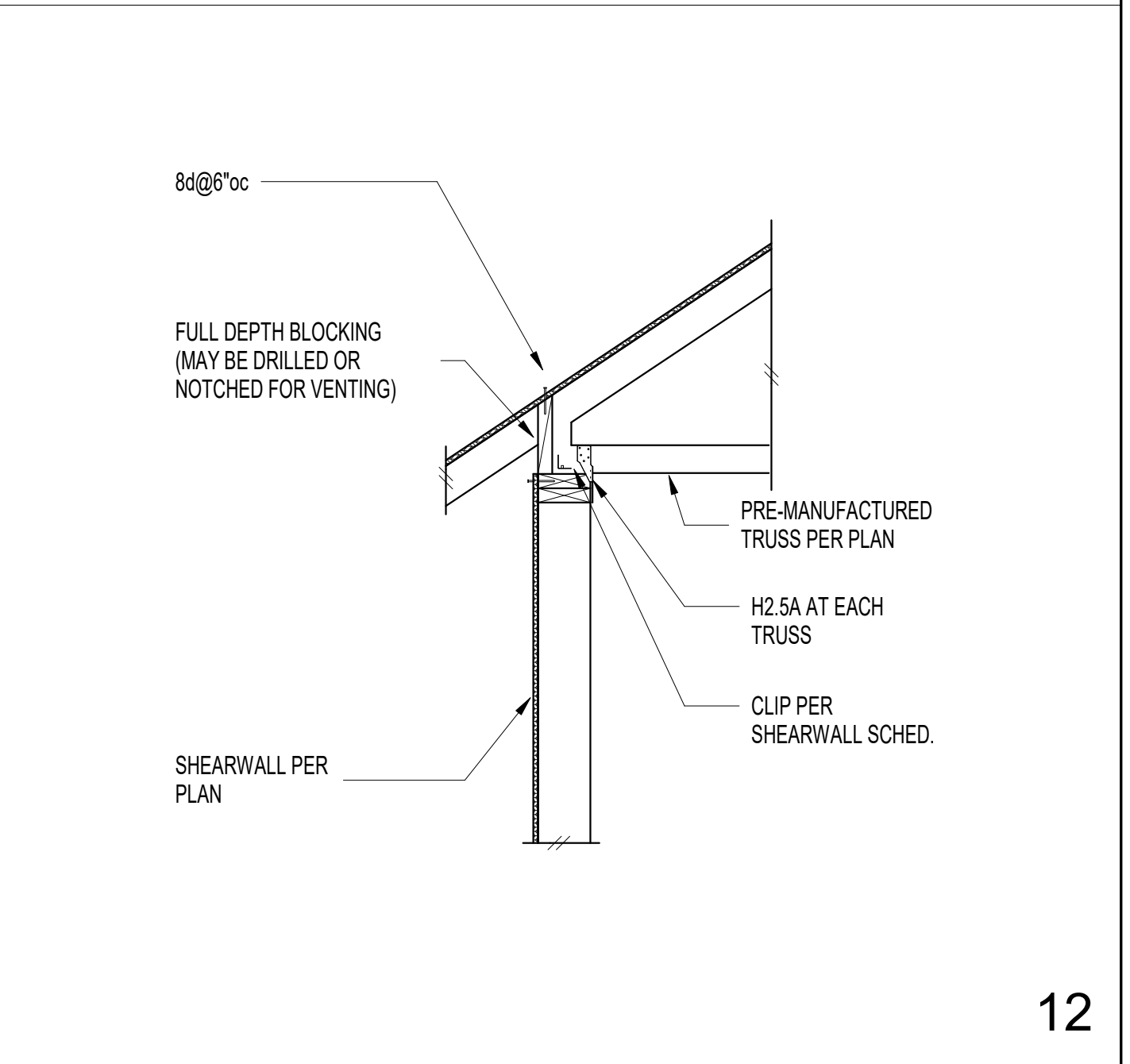
9



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REVISION	DATE	DESCRIPTION
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ISSUANCES	
DATE	DESCRIPTION